



PAGE FORMAT		A1
AREA SCHEDULE		REV 0
SITE AREA:	1085m ²	
COVERAGE:	35%(380.95m ²)	
FAR	0.48	
GROSS BUILDING AREA:		
INCLUDED: External wall areas. Staircase and double volume areas calculated once.		
Lower Level	143.65m ²	
Ground Level	244.60m ²	
First Level	209.45m ²	
TOTAL GBA:	597.70m ²	
Covered Main Entrance	13.85m ²	
Open Patio	34.20m ²	
Pool	24.50m ²	
Balconies	30.05m ²	
TOTAL GBA (including balconies, patios and covered entrances): 750.30m ²		
YARD AREA	17.20m ²	
NETT FLOOR AREA:		
Lower Level	123.15m ²	
Ground Level	217.75m ²	
First Level	183.95m ²	
TOTAL NFA:	524.85m ²	
GENERAL NOTES All building work to comply with SANS 10400 regulations. No dimensions to be scaled or scanned from drawing. All dimensions to be checked on site before any work is carried out on site. Where applicable the contractor is to check on site the size of components to be manufactured prior to installation. The contractor is responsible for correct setting out of the buildings, all external and internal walls with particular reference to erf boundaries, building lines, etc. The contractor has to verify all levels, heights and dimensions on site and to check the same against the drawings before any work is carried out on site. Any discrepancies must be reported to the architect and appointed structural engineer. The contractor is to locate and identify existing services on the site and protect these from damage throughout the duration of the works. Any errors, discrepancies or omissions to be reported immediately. The contractor is to build in approved 4 ply D.P.C. weather or not these are shown on drawings, to all walks at each floor, beam or parapet level and to all windows, doors, grilles or other openings in external walls. Any queries arising from all the above must be reported and clarified before any work is carried out on site. This drawing to be read in conjunction engineers with all engineers/land surveyors/specialist or any other drawing/information available.		
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REGISTERED OWNER DETAILS:	DATE: SIGNATURE OF OWNER/ CLIENT:	
REGISTERED ARCHITECT DETAILS:	DATE: SIGNATURE OF ARCHITECT:	
Andrew Schenk Schenk Architects SACAP Reg No : 24751507 65 Stander St, Louisa Park George 6529		
REVISIONS		
PROJECT TITLE Proposed New Dwelling on: Erf 2132, Wilderness for Mr. Malcolm Isaacs.		
DRAWING STATUS CONCEPT 01		
DRAWING DESCRIPTION General Plans		
SCALE	AS SHOWN	
DATE	DATE OF 1ST ISSUE	
ISSUED	2026/05/05	
DRAWN BY	Andrew Schenk	
CHECKED BY	Andrew Schenk	
ARCHITECT	Andrew Schenk	
SCHENK ARCHITECTS 65 Stander Street Louisa Park, George 6529 081 857 6087 info@schenkarchitects.co.za		
PROJECT NO:	DRAWING NO:	REVISION
2605	2403 - 001	0



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REGISTERED ARCHITECT DETAILS: Andrew Schenk Schenk Architects SACAP Reg No. 24751507 65 Stander St, Loerie Park George 6529	DATE: SIGNATURE OF ARCHITECT:

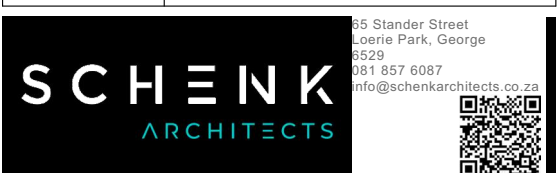
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Proposed New Dwelling on:
Erf 2132, Wilderness for Mr. Malcolm Isaacs.

CONCEPT 01

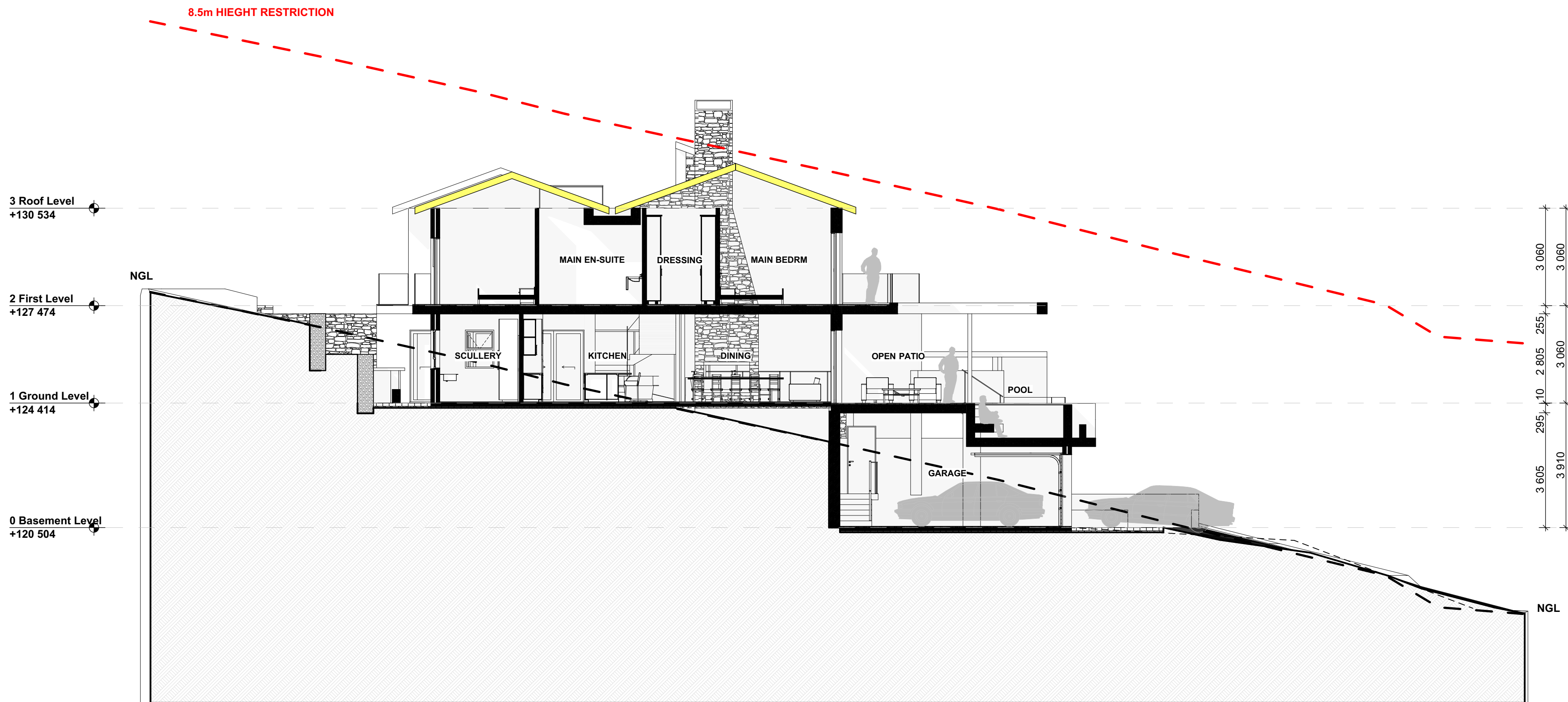
Sections + Elevation 01

SCALE	AS SHOWN
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DRAWN BY	Andrew Schenk
CHECKED BY	Andrew Schenk
ARCHITECT	Andrew Schenk

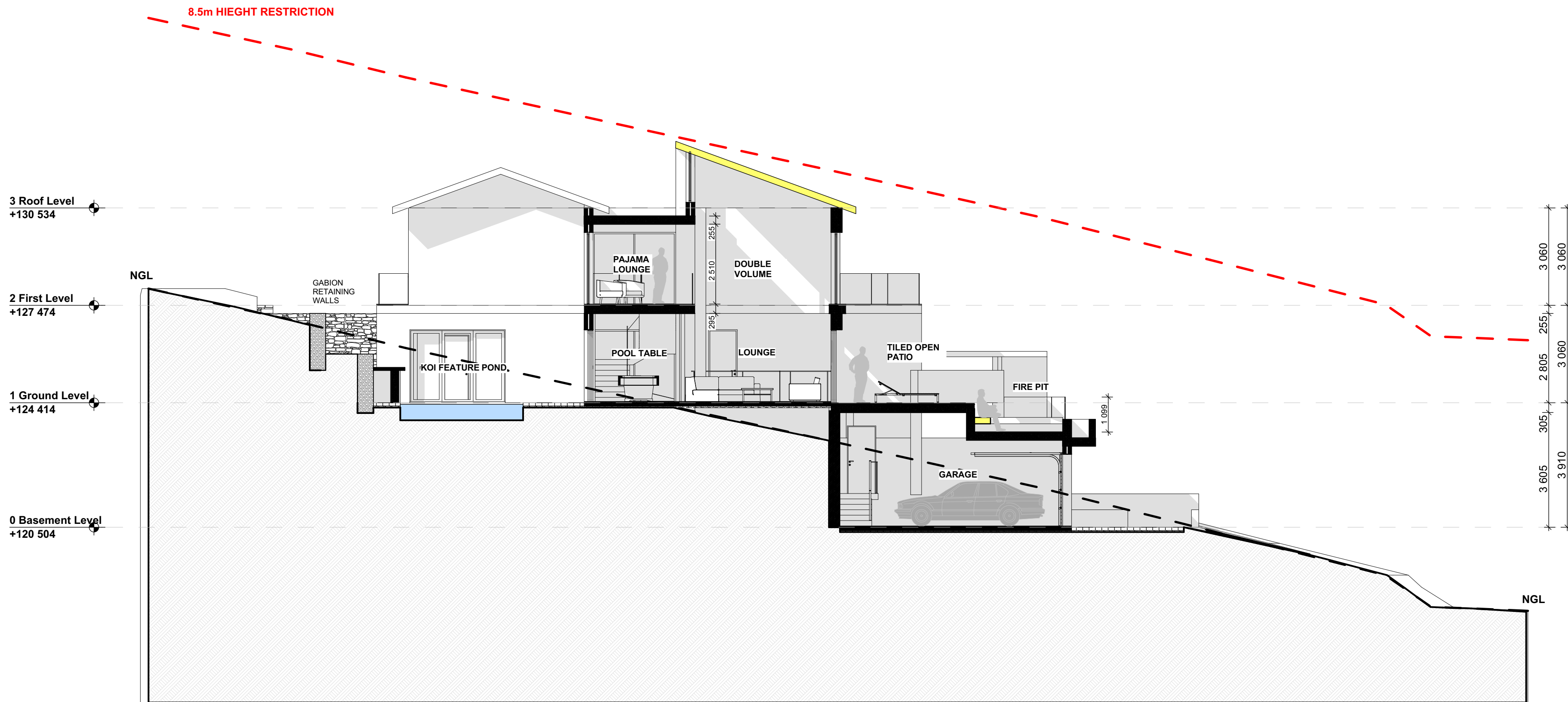


PROJECT NO: 2605	DRAWING NO: 2403 - 003	REVISION 0
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SCALE 1 : 100



SCALE 1 : 100



SCALE 1 : 100





NORTH ELEVATION

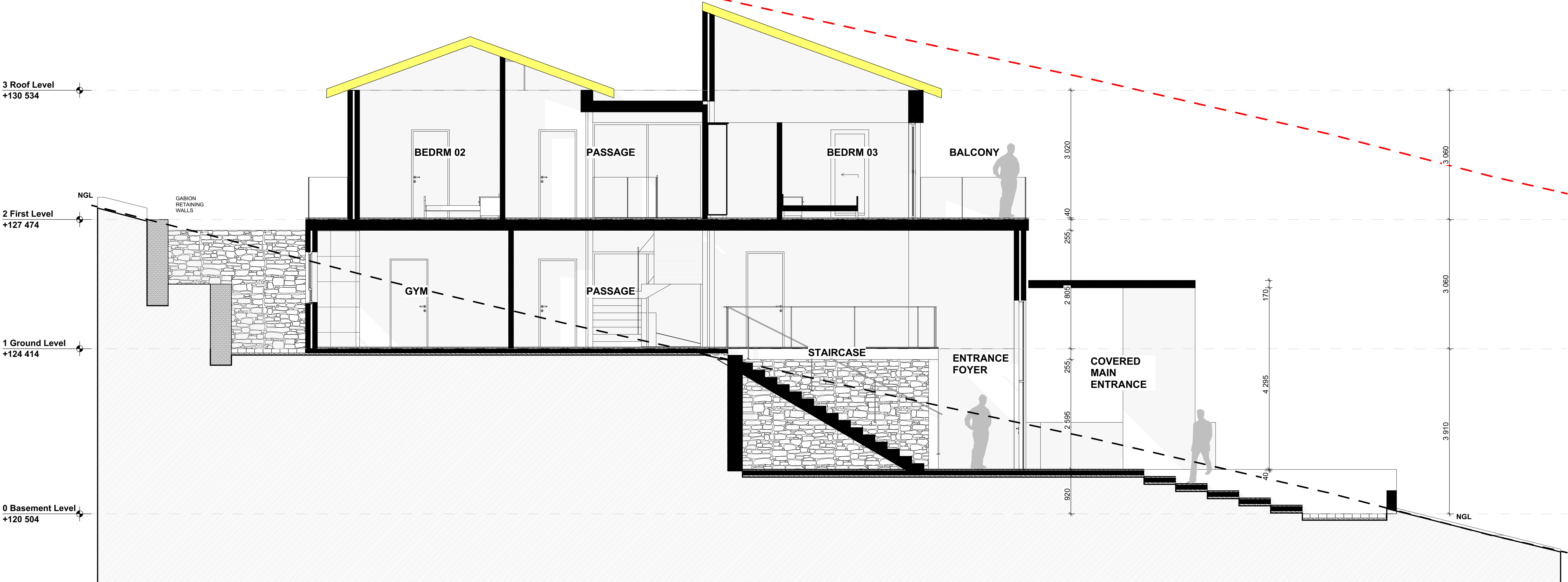
SCALE 1 : 100



SOUTH ELEVATION

SCALE 1 : 100

8.5m HIEGHT RESTRICTION



SECTION B4

SCALE 1 : 50

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REGISTERED ARCHITECT DETAILS: DATE: SIGNATURE OF ARCHITECT:
Andrew Schenk
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SACAP Reg No. 24751507
85 Slender St, Lovers Park
George
6520

REVISIONS

PROJECT TITLE
Proposed New Dwelling on:
Erf 2132, Wilderness for Mr. Malcolm Isaacs.

DRAWING STATUS
CONCEPT 01

DRAWING DESCRIPTION
Section + Elevation 02

SCALE	AS SHOWN
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ISSUED	2026/05/05
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CHECKED BY	Andrew Schenk
ARCHITECT	Andrew Schenk



PROJECT NO:	DRAWING NO:	REVISION
2605	2403 - 004	0