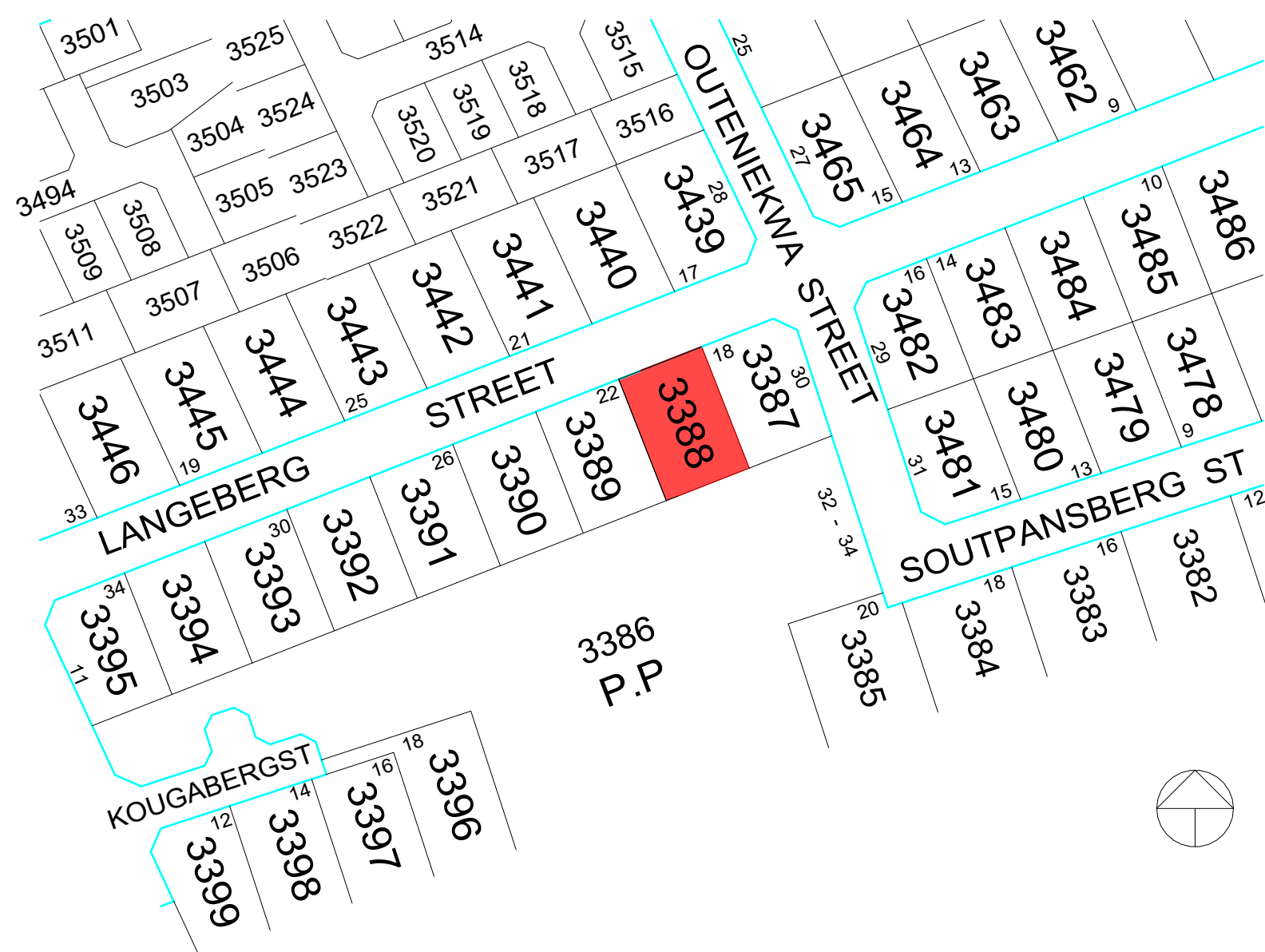
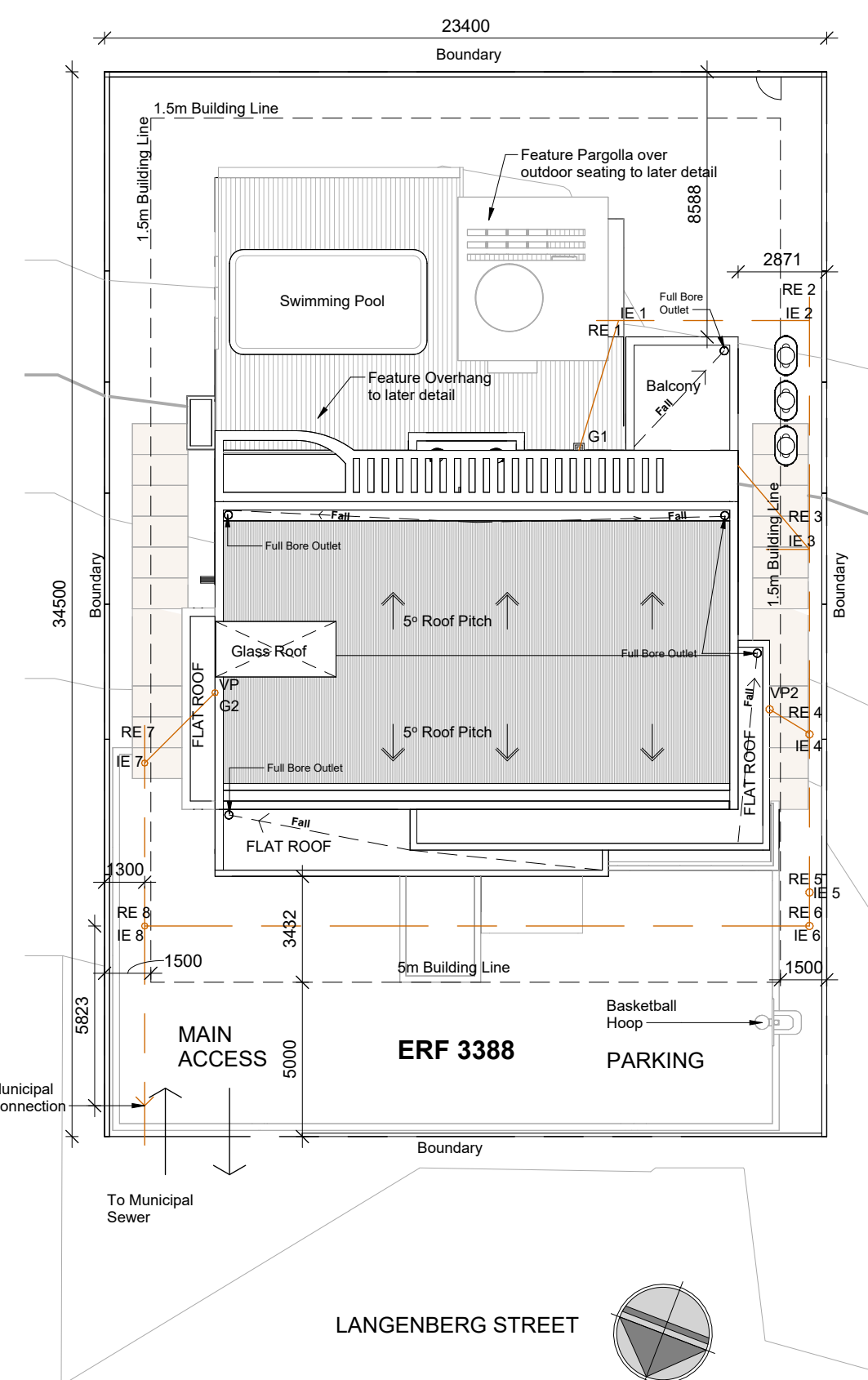


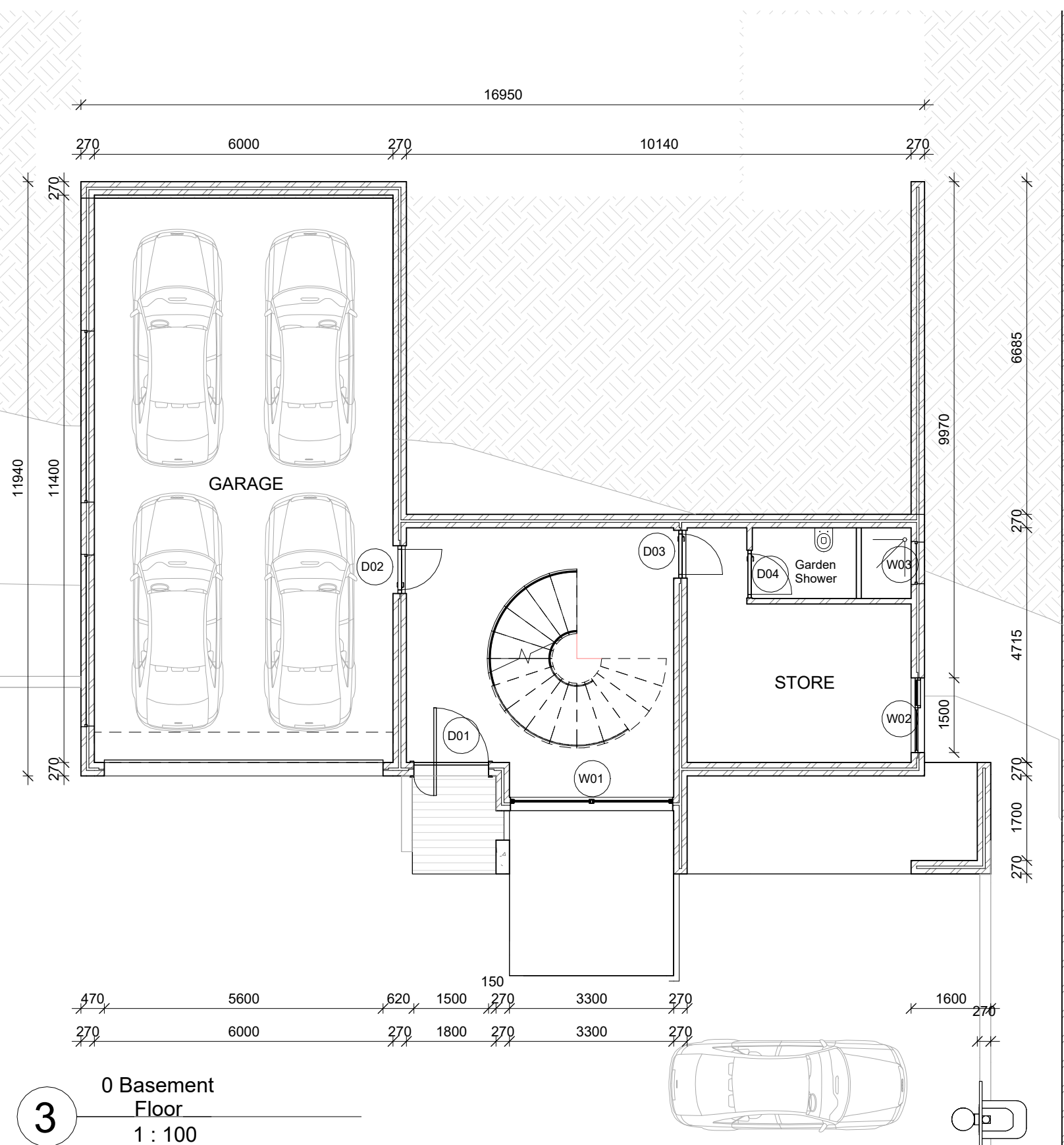
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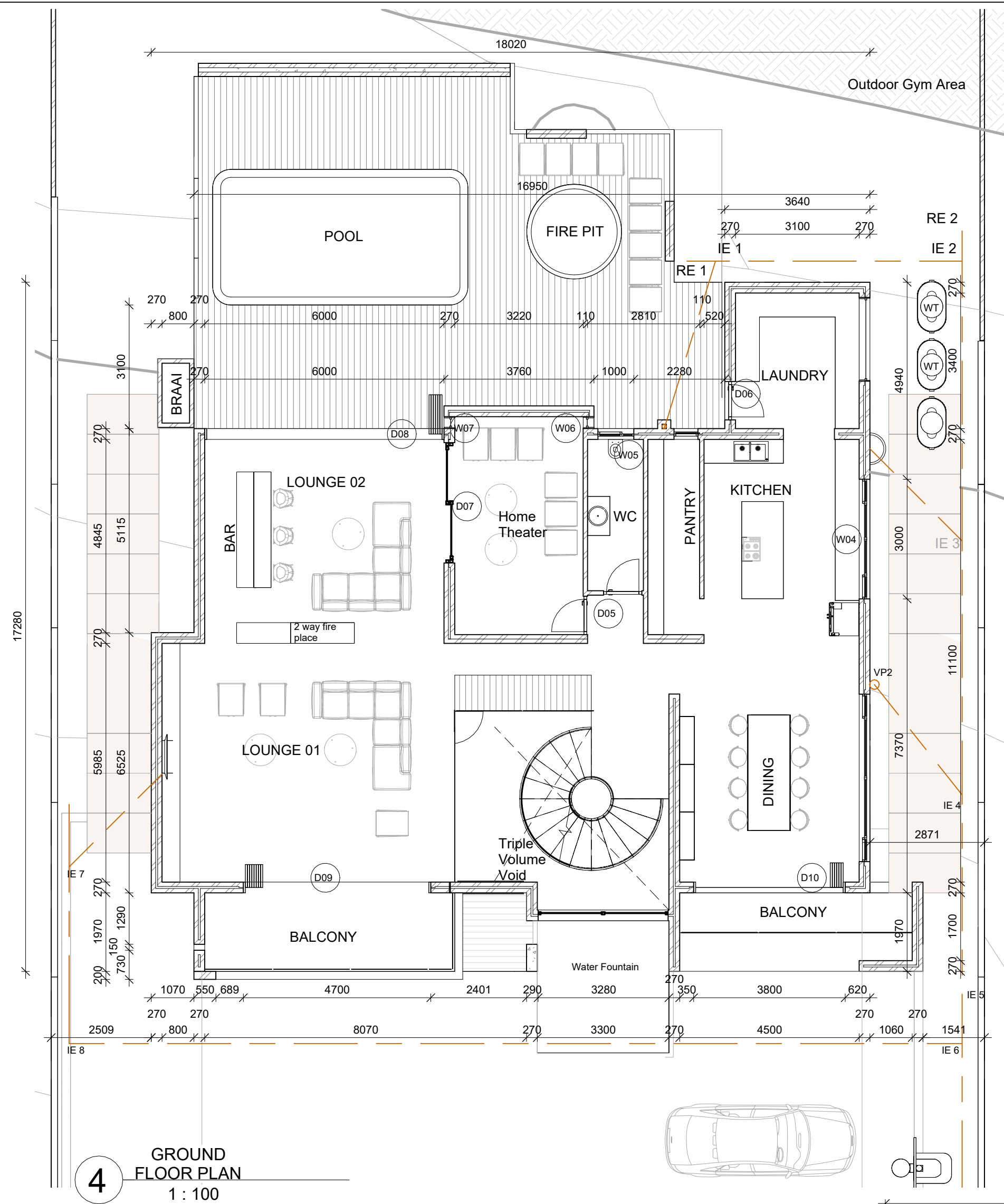
1 Locality Plan  
1 : 20000



2 4 Site Plan  
1 : 200



3 0 Basement Floor  
1 : 100



4 GROUND FLOOR PLAN  
1 : 100

**GENERAL NOTES**

Quality of workmanship to comply with relevant SABS specifications and to comply with the minimum standards prescribed. Contractor is responsible for the correct setting out of the building. All internal and external walls according to correct heights, levels and measurements.

Contractor to make sure that all detail is clear, and to speak to architect if anything is not clear enough.

Contractor to protect all trees that must be retained, and to make sure that trees are not damaged during the course of building operations.

The location of all underground services on site shall remain the sole responsibility of the contractor. If any such service is damaged in any way whatsoever during digging or trenching operations, the contractor shall be responsible for effecting the repairs and/or replacement thereof at his own cost and time.

The site is to be cleared of all refuse before construction commences, and cleared of all building refuse after completion of construction by the contractor.

Trade names and code numbers are used as a guide only. Similar or equal items may be used by prior approval of owner or architect. All dimensions and levels to be checked and verified on site before work commences. Any discrepancies are to be reported to the architect immediately. Figured dimensions to be taken in preference to scaled measurements and large scale detail supersedes small scale drawings.

All requirements of municipal and other authorities concerned must be adhered to. All work to be strictly in accordance with the 'National building regulations' and the SABS 0400 minimum standard specifications.

Timber used in the erection of a building to be treated against termite and wood borer attack & fungal decay in accordance with SANS-10005.

**CONSTRUCTION NOTES**

GLASS:  
No glass thinner than 3mm to be allowed. 3mm glass for areas not greater than 0.75m². 4mm glass for areas not greater than 1.5m². 6mm glass for areas greater than 1.5m². Glass below 500mm from floor level to be 6mm safety glass. Glass in doors to be 6mm safety glass & to have visual markers.  
Glass to comply with Part N of National Building Regulations of 1990/1237. All bathrooms with obscure glass.

**ROOF NOTES:**  
- IIR or similar roof sheeting to roof manufacturer's specification and architects approval.  
- R.C Flat roof to Structural Engineer's Specification.

**CEILING:**  
- lower flexible 100mm thick Aerolite non combustible lightweight fiberglass reinforced insulation blanket closely fitted with ends butted firmly between tie beams and laid loose on top of bracing between roof timbers.

**WALLS:**  
270 Masonry Brick Work:  
Brickwork every 3rd brick layer, and for 4 layers over openings. Openings greater than 1500mm should be structurally enforced with steel rods. Plaster walls and finish off with applicable undercoat and 2 coat 'DULUX' matt enamel as manufactures specification. Unless otherwise stated to Structural Engineers detail.

**HOT WATER PIPES INSULATION:**  
- lower snap on grid non combustible lightweight Glasswool reinforced pipe insulation with plain nominal density fitted to pipes and fittings, all as per manufacturers recommendations.

**Floor General:**  
Finished floor levels for all materials are to be identical unless otherwise indicated on drawings. At all transitions between one finish and another and at all external thresholds finishes are to be laid against 5 x 40mm brass strip. All external thresholds to be weathered to fall towards external face. Provide certificate of compliance. Foundations & floor slab as per structural engineer's design.

**Screeds:**  
All concrete floor surfaces to receive screed finish unless otherwise stated. Overall floor finish and screed to be 30mm thick. Screed minimum 30mm thick (to receive various finishes) to comprise 1 part cement to 3 parts approved sand by volume - unless otherwise stated. Tolerances and strengths to be as per 'Sand-Cement Floor Screeds' published by the Cement & Concrete Institute 1996 Re-printed 1997. (Copy attached.)

**Class of Surface Regularity is 1.** (Screed laid to 1mm tolerance over 1m.)  
Screed - Strength Category is A for all floor surfaces all screeds to be tested with 'BRE' Screed Tester prior to application of epoxy floor finish unless otherwise stated (minimum 20MPa) and to conform to SABS 0155 (Accuracy in Buildings).

**Granolithic finish:**  
40mm steel troweled untinted granolithic screed comprising 4 parts granite, 1 part sand and 2 parts cement, laid on concrete surface beds / r.c. slabs. All stair treads and external thresholds to be bedded with 76mm wide readings 50mm from edge of treads.

**DPC NOTE:**  
Under-floor DPM to extend vertical between edge of slab and internal face of brick skin and over width of inner brick skin to align with top of R.C. floor slab.  
All as continuous membrane with side lap joints to be lapped minimum 150mm.  
375 micron Guplas Black Brickgrip DPC to be laid over green under-floor DPM at wall where applicable.

**DAMP PROOF COURSING:**  
To be Guplas Black Brickgrip or equal approved 375 micron DPC. Lapped minimum of 150mm at all joints, and similarly lapped over green under-floor DPM where applicable.  
250 micron USB green under-floor DPM to underside of all R.C. floor slabs on sand-bed on compacted fill layers to Engineers detail.

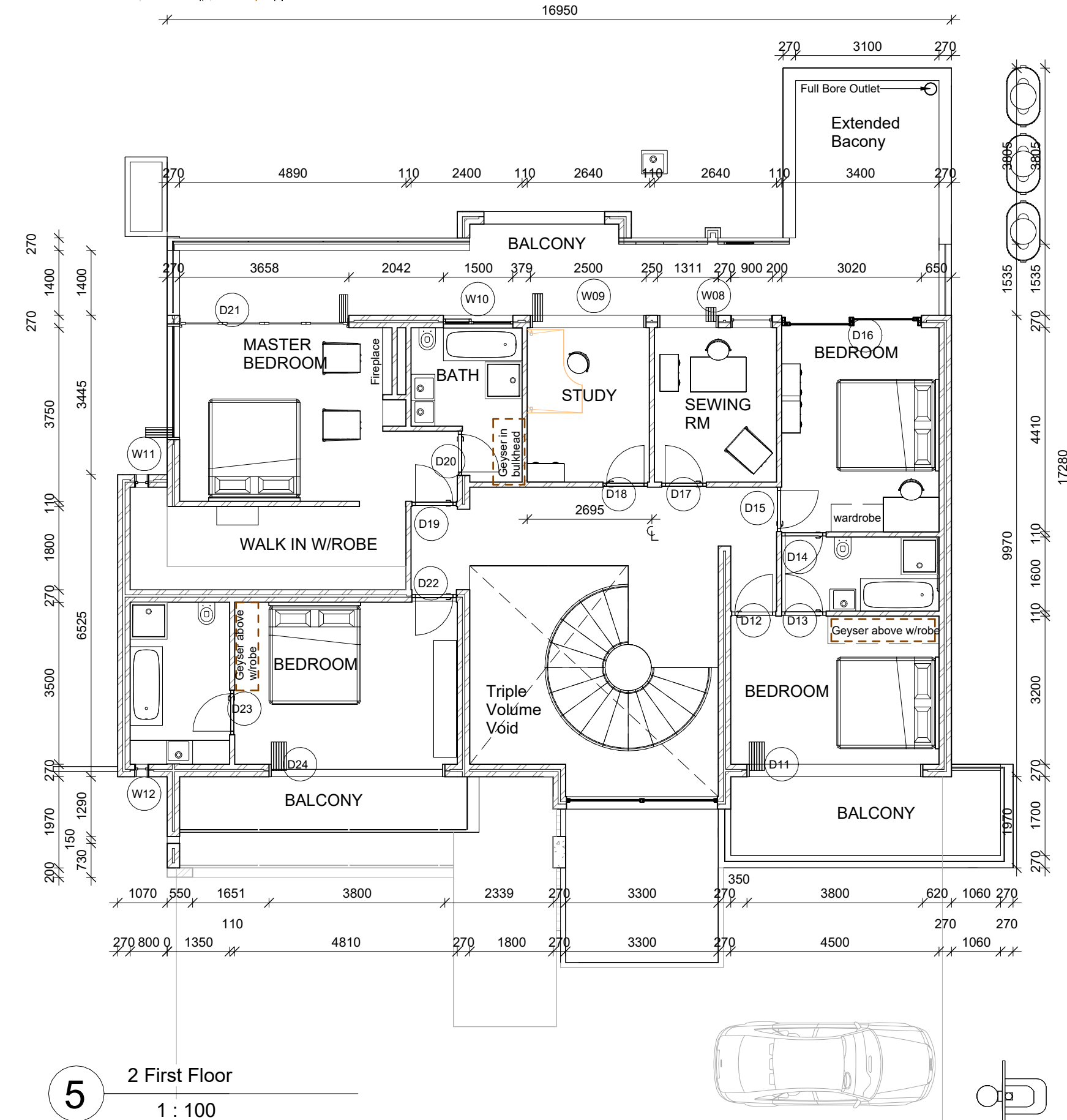
**DPC's IN WALLS:**  
To be at least 1 course above finished ground level at outer skin; laid as horizontal flat DPC over turned up floor DPM for full width of wall with side lap joints to be lapped minimum 150mm.

**UNDER CILL DPC:**  
Horizontal flat DPC below external sloped window cill for width of wall construction and to overlap width of window opening by minimum 150mm at either side - continuous membrane for width of window cill.

**FOUNDATIONS**  
240x750 concrete strip foundation, provide certificate of compliance.

**GROUND TREATMENT:**  
- 'Shaditex termite proof' ground treatment SABS code 012-1977 to be used for the treatment of ground under new building.

**NO STREET FURNITURE**



5 2 First Floor  
1 : 100

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ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH NATIONAL BUILDING REGULATIONS, SOUTH AFRICAN NATIONAL STANDARDS, AND LOCAL AUTHORITY BY-LAWS.

| REV | REVISION HISTORY    | DATE |
|-----|---------------------|------|
|     | Updated Roof Design |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |

NOTE:

**COVERAGE**  
**Erf number: 3388 THEESCOMBE**  
**Locality: GQEBERHA**  
**Erf Area = 790m²**  
**Height restriction: 2 Floors**

**Proposed Building Footprint/Coverage**

**= 200m²**  
**= 25.3%**  
**Coverage allowed: 60%**  
**F.A.R = N/A**

**ZONE: RES 1**

**PROJECT**

House Ncoyo

**CLIENT**

Ncoyo

Signature:.....

**PICHA**  
**ARCHITECTS**

1st Floor, Habourview Building,  
Oakworth Road, Port Elizabeth.  
**Telephone:** +27 41 1011022  
**Website:** www.picha.co.za  
**Email:** mail@picha.co.za

**DRAWING TITLE**

PLANS

**DRAWING USE**

Municipal Submission

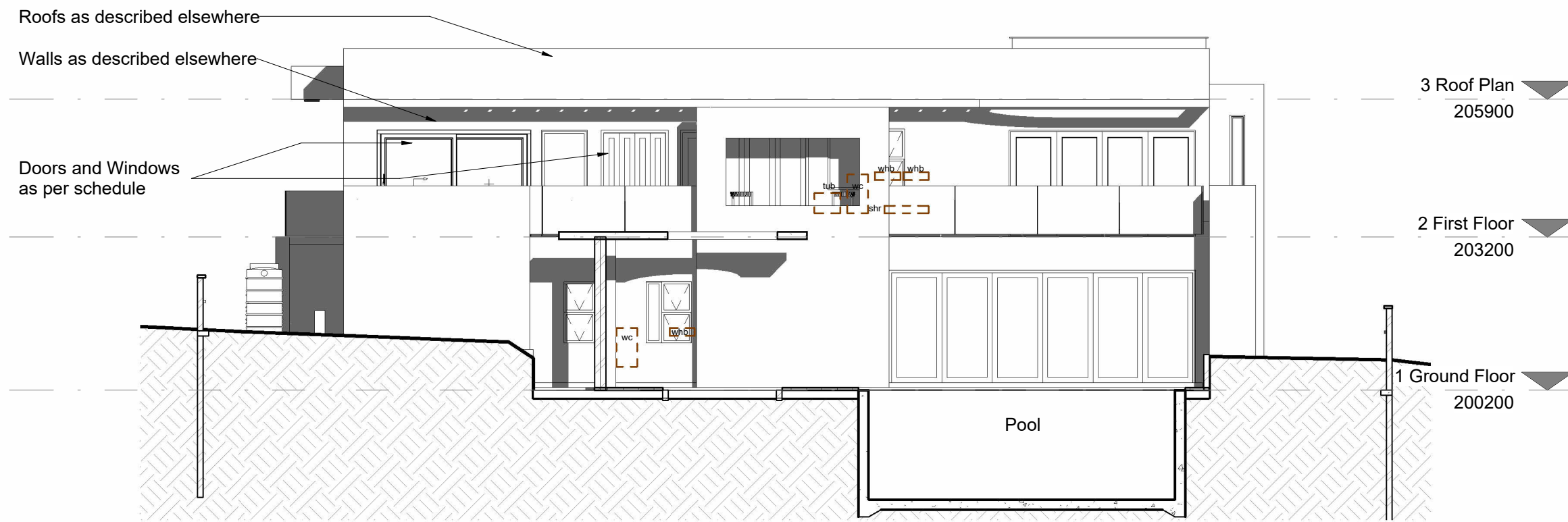
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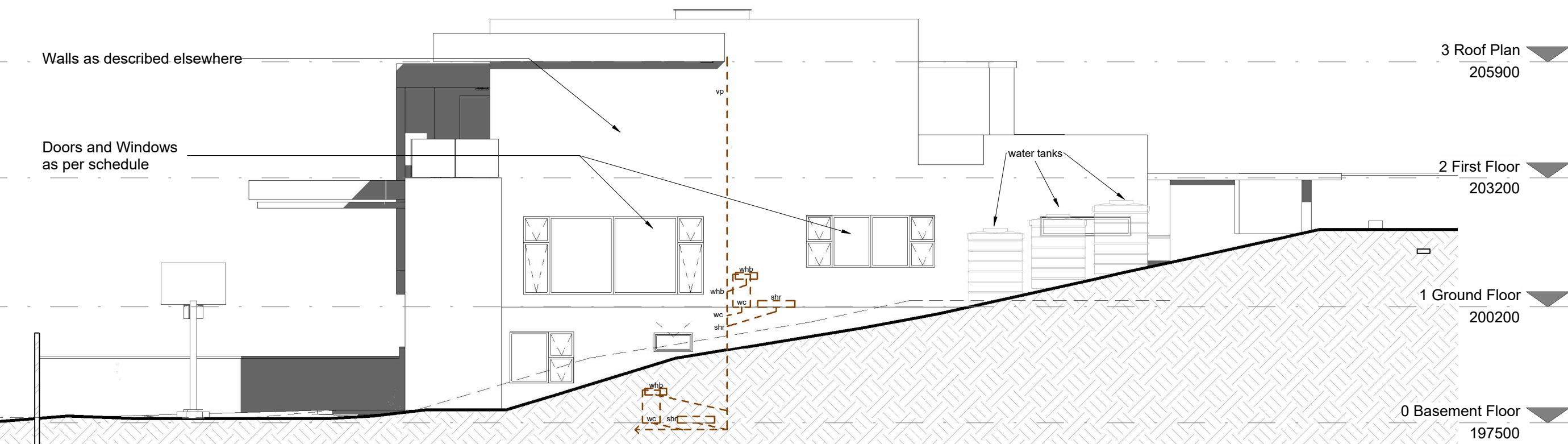
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| <b>ERF NUMBER</b><br>3388          | <b>ALLOTMENT</b><br>Theescombe |
| <b>SCALE</b><br>As indicated on A1 | <b>DATE</b>                    |
| <b>DRAWING NUMBER</b><br>2301/01   | <b>REVISION</b>                |



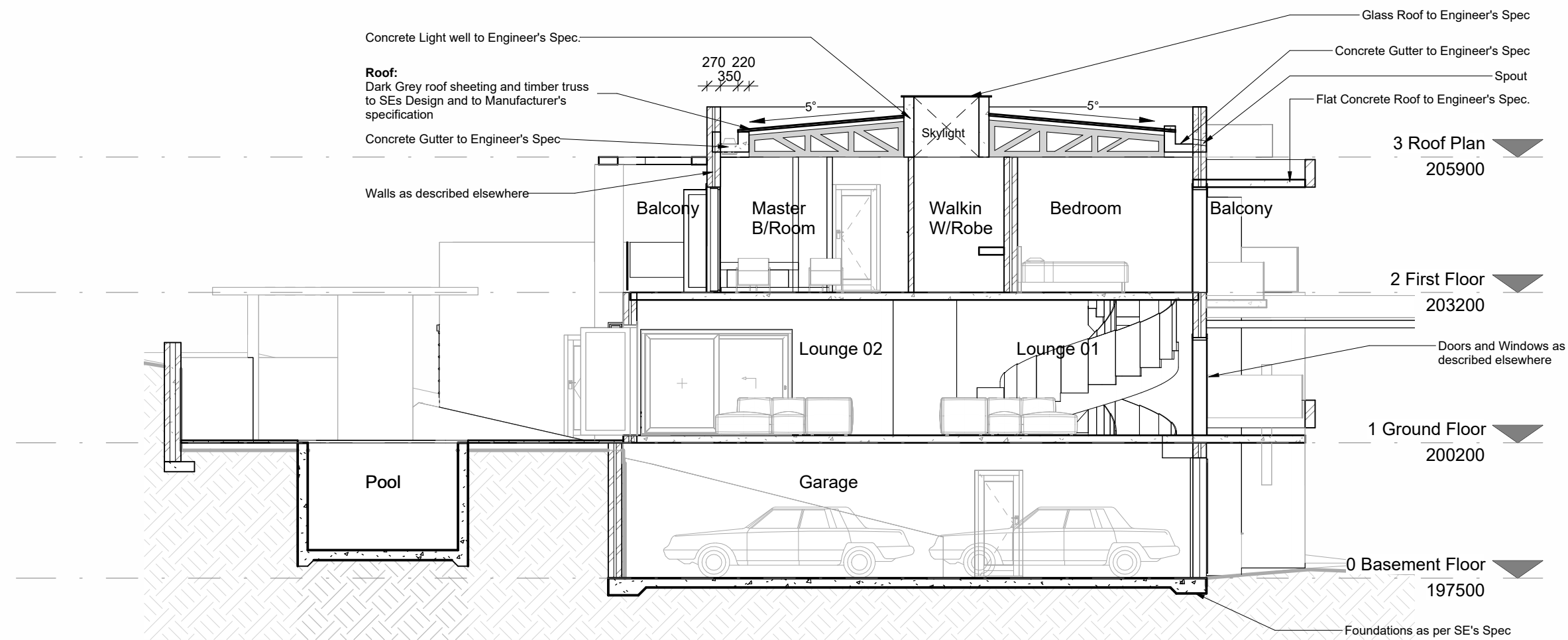
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1 : 100



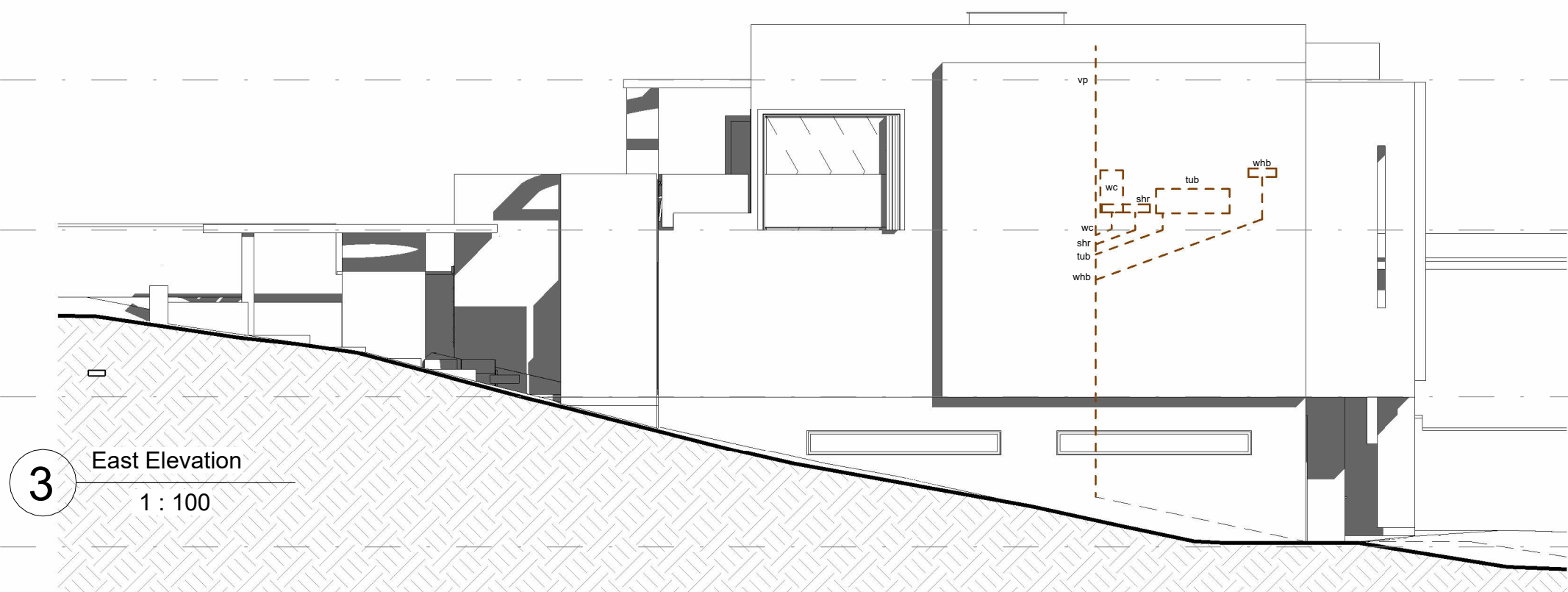
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1 : 100



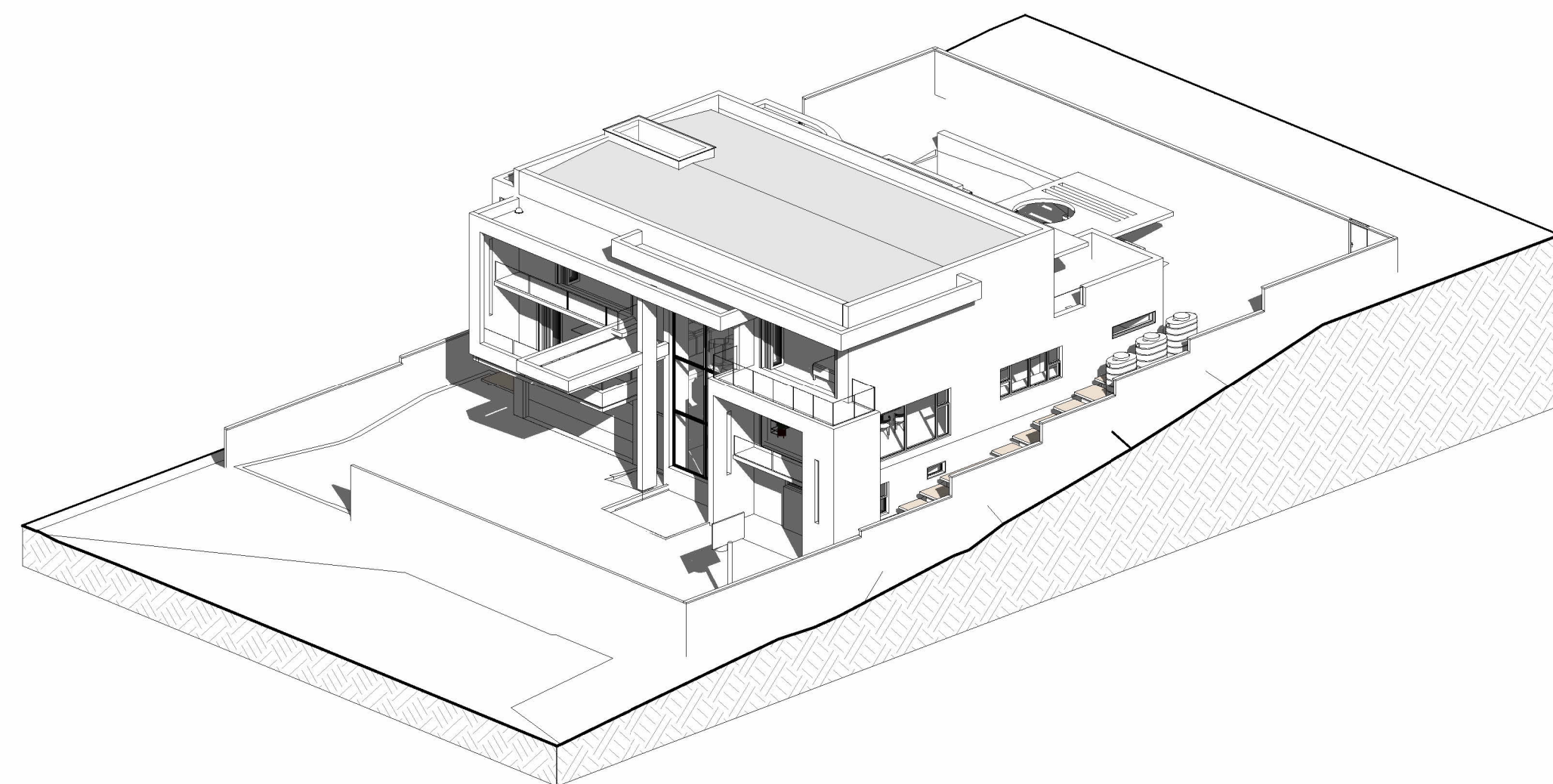
5 North Elevation  
1 : 100



6 Section  
1 : 100



3 East Elevation  
1 : 100



1 Aerial NE 3D

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| REV | REVISION HISTORY    | DATE |
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|     | Updated Roof Design |      |
|     |                     |      |
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**NOTE:**

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**Erf number: 3388 THEESCOMBE**  
**Locality: GQEBERHA**  
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**= 25.3%**  
**Coverage allowed: 60%**  
**F.A.R = N/A**

**ZONE: RES 1**

**PROJECT**

House Ncoyo

**CLIENT**

Ncoyo

Signature:.....

**PICHA**  
**ARCHITECTS**

1st Floor, Habourview Building,  
Oakworth Road, Port Elizabeth.

**Telephone:** +27 41 1011022  
**Website:** www.picha.co.za  
**Email:** mail@picha.co.za

**DRAWING TITLE**

SECTION and ELEVATIONS

**DRAWING USE**

Municipal Submission

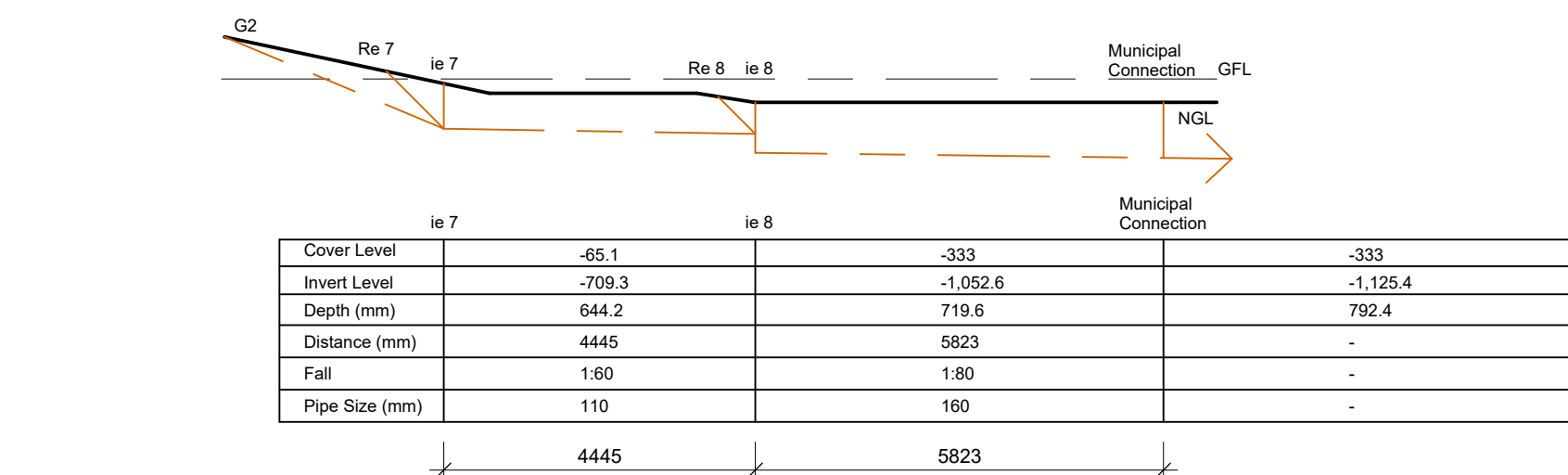
**DRAWN**

RMK

**CHECKED**

**PROFESSIONAL ARCHITECT**  
**MURIITHI KIUGU**  
09:42 AM (Africa/Johannesburg) on 28 Apr 2023

|                                  |                                |
|----------------------------------|--------------------------------|
| <b>ERF NUMBER</b><br>3388        | <b>ALLOTMENT</b><br>Theescombe |
| <b>SCALE</b><br>1 : 100 on A1    | <b>DATE</b>                    |
| <b>DRAWING NUMBER</b><br>2301/02 | <b>REVISION</b>                |

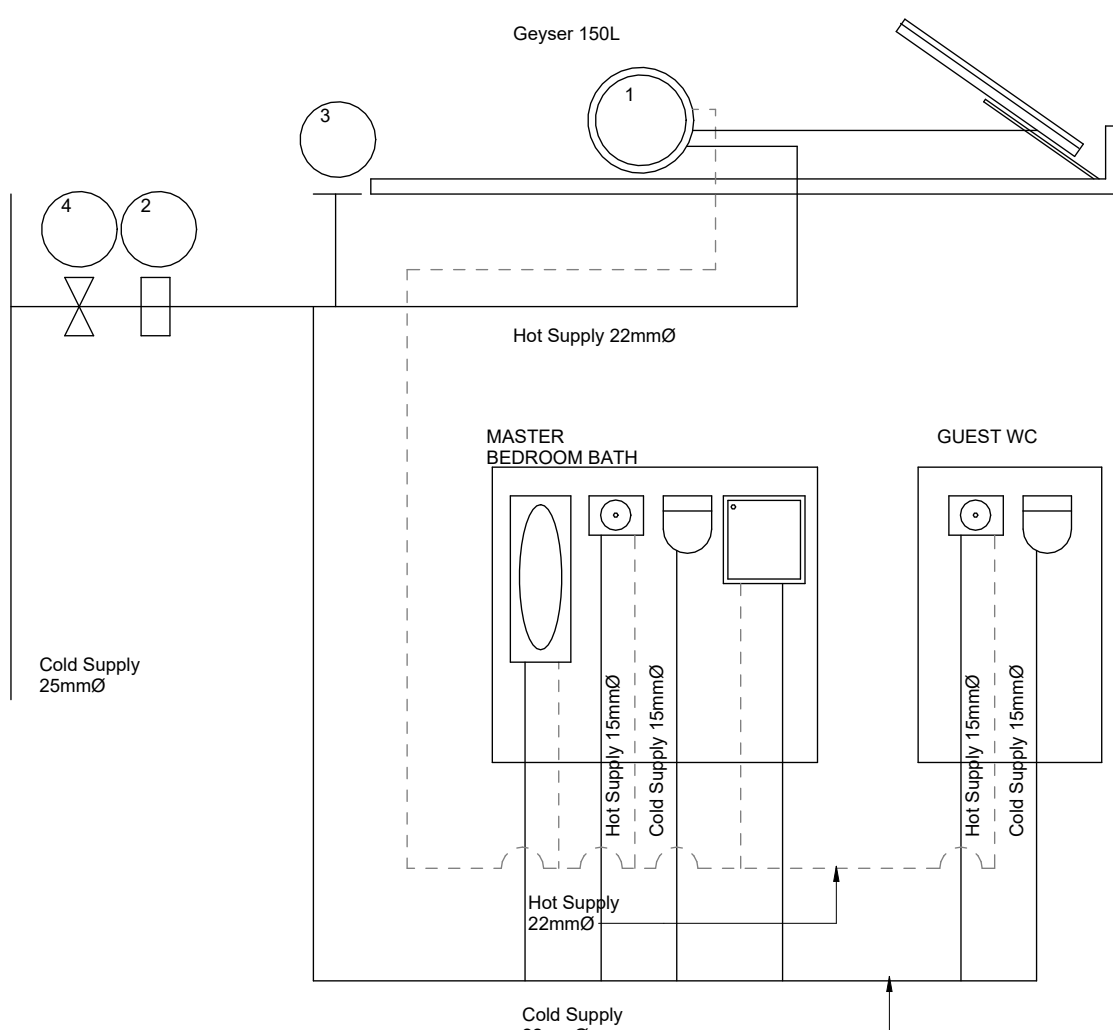
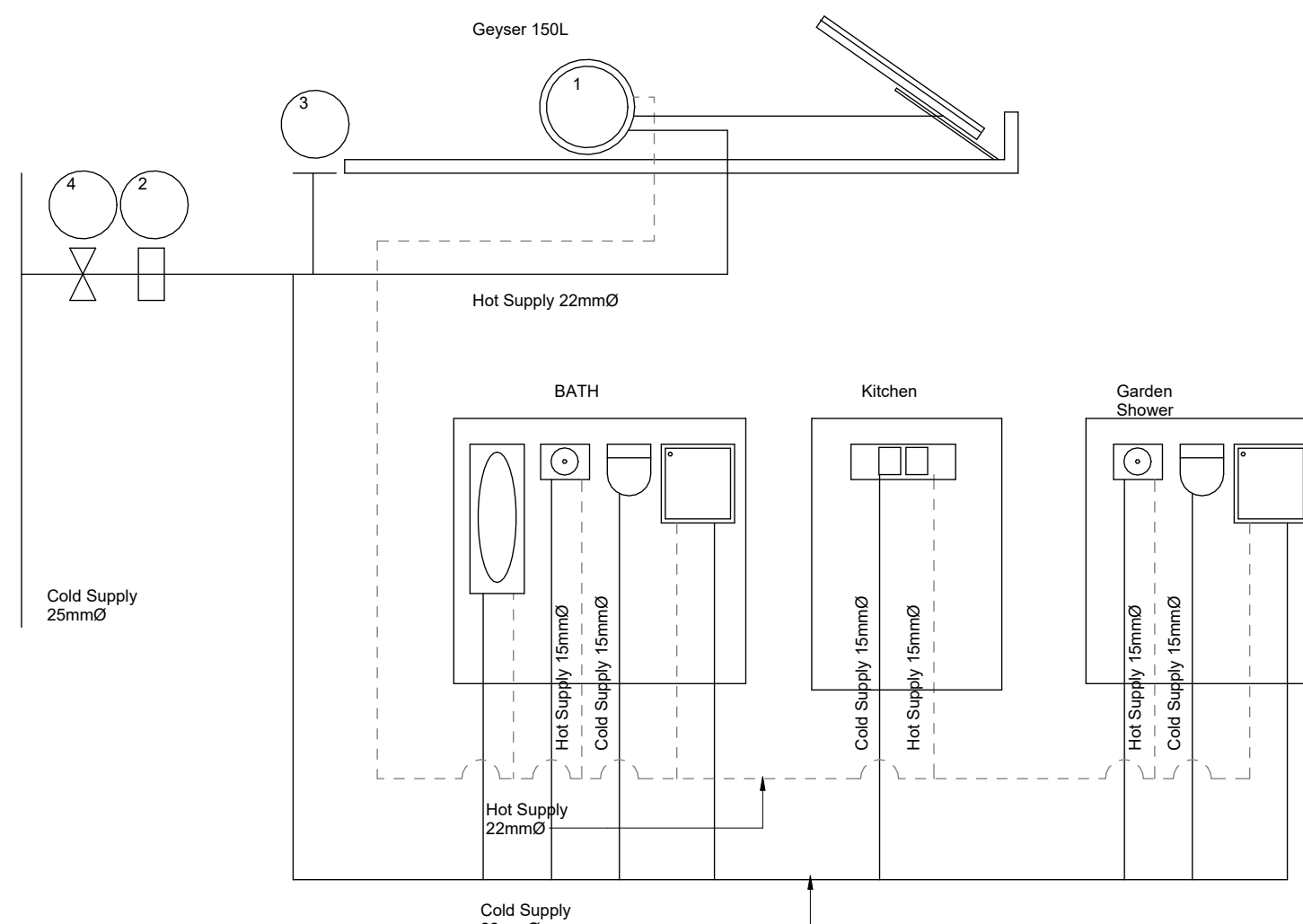


ALL DRAINAGE TO BE IN  
ACCORDANCE WITH SANS 10400-P

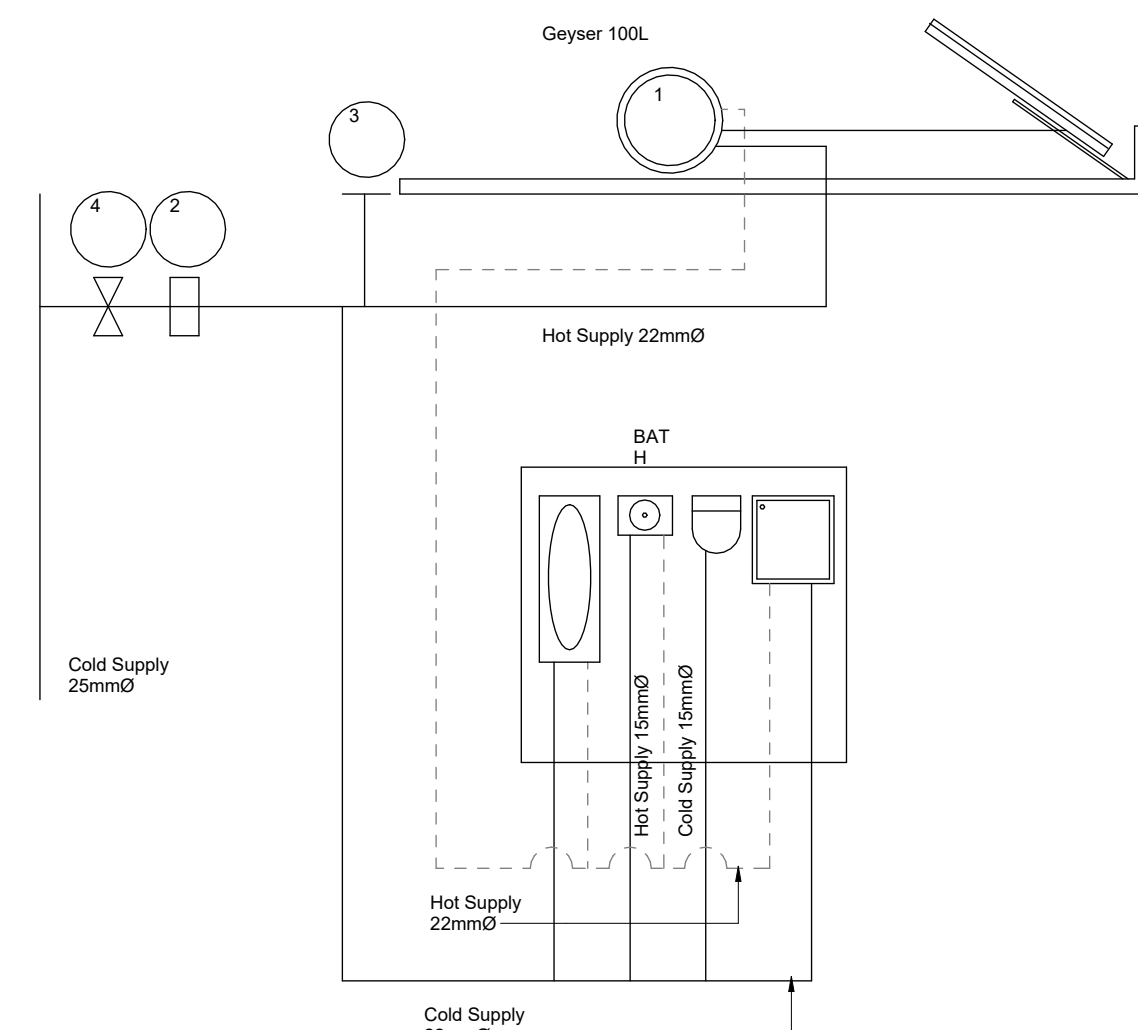


1. A fence or wall shall be provided by the owner of a site which contains a swimming pool to ensure that no person can have access to such a pool from the street or adjoining site.
2. The fence to the swimming pool shall have a self closing and self latching gate with provision for locking in.
3. A fence or wall to the swimming pool shall comply with the requirements in SANS 1390.
4. A fence or wall shall be built before the swimming pool is filled with water.
5. The swimming pool should be provided with an approved filter and must backwash over the existing garden.
6. Pool construction specification to be confirmed by specialist and Engineer.

| PLUMBING DIAGRAM SUMMARY                                                                                                                                                                       |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| COLD SUPPLY - COPPER TUBE 22mm THICK (ON EXTERIOR)<br>15mm TH. on INTERIOR                                                                                                                     |  |
| HOT SUPPLY - COPPER TUBE 22mm THICK (ON EXTERIOR)<br>15mm TH. on INTERIOR                                                                                                                      |  |
| <ol style="list-style-type: none"> <li>2No. x 150L GEYSERS AND 1 No. 100L GEYSER</li> <li>MASTERFLOW 2 GRESS RED VALVE</li> <li>P.B.I VACUUM BREAKERS</li> <li>2.2MM CXC GATE VALVE</li> </ol> |  |



Water Reticulation - General Principal



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NATIONAL BUILDING REGULATIONS, SOUTH AFRICAN NATIONAL  
STANDARDS, AND LOCAL AUTHORITY BY-LAWS.

[illegible]

**NOTE:**

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**Erf number: 3388 THEESCOMBE**  
**Locality: GQEBERHA**  
**Erf Area = 790m<sup>2</sup>**  
**Height restriction: 2 Floors**

### Proposed Building Footprint/Coverage

**= 200m<sup>2</sup>**  
**= 25.3%**  
**Coverage allowed: 60%**  
**F.A.R = N/A**

**ZONE: RES 1**

PROJECT

House Ncoyo

CLIENT

Ncoyo

Signature:.....

**PICHA**  
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Email: [mail@picha.co.za](mailto:mail@picha.co.za)

**DRAWING TITLE**

## DRAINAGE AND WATER RETICULATION

**DRAWING USE**

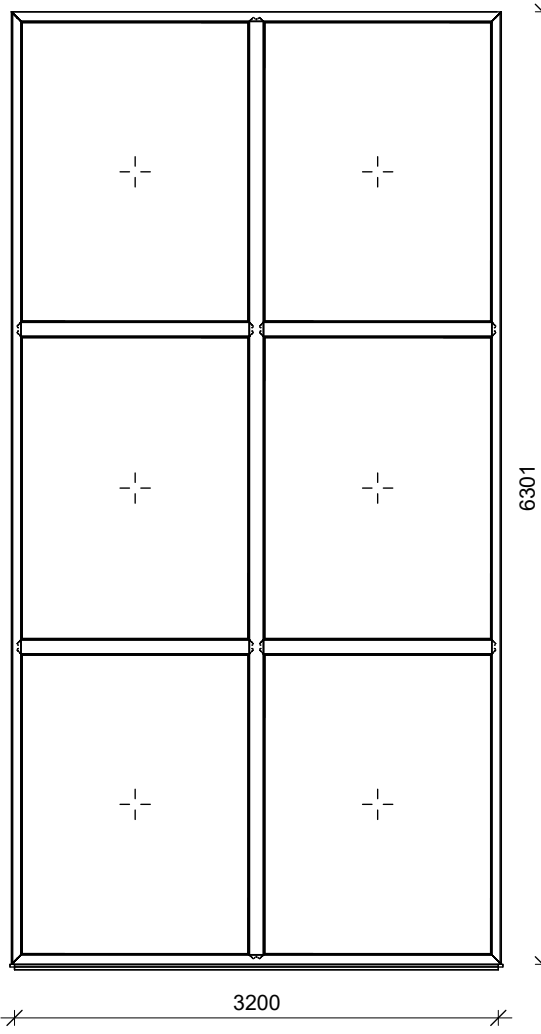
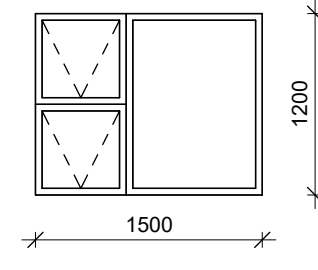
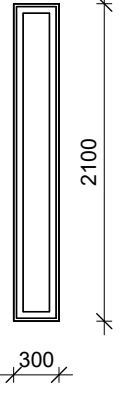
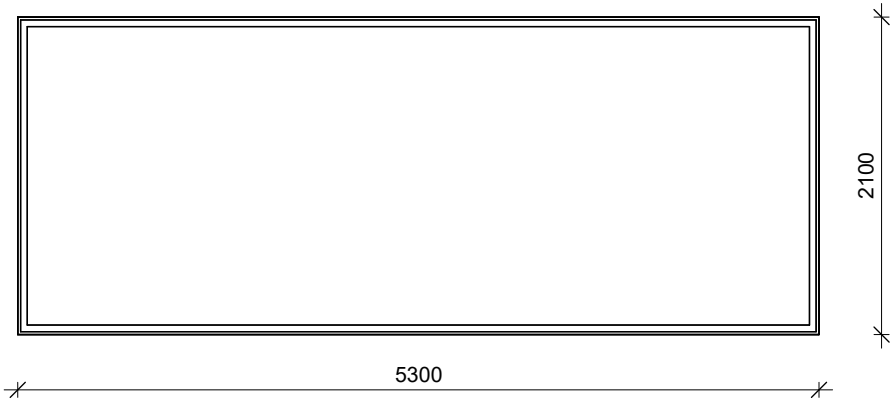
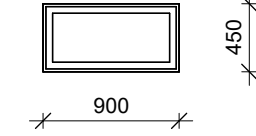
Municipal Submission

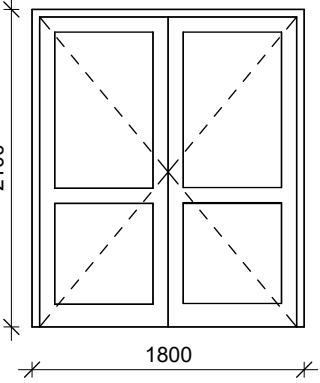
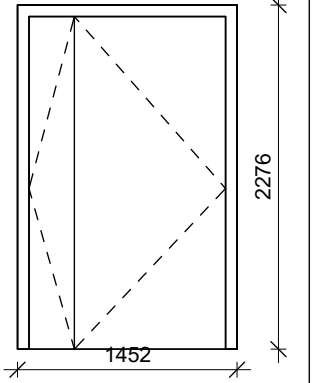
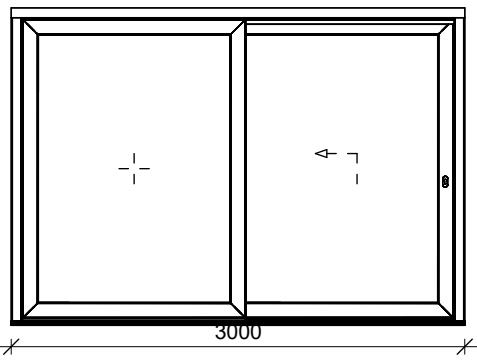
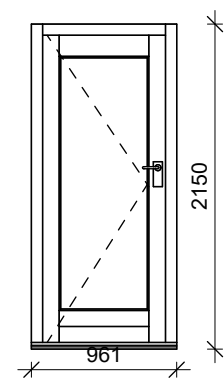
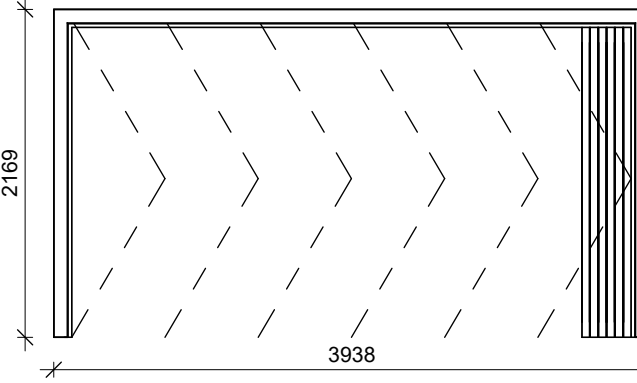
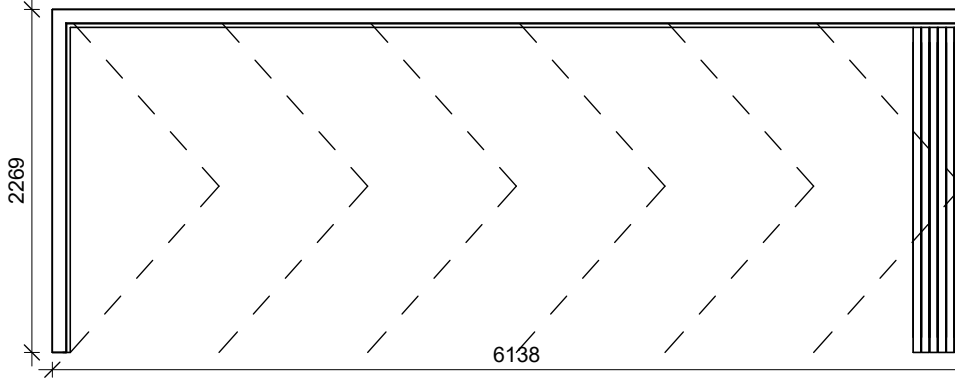
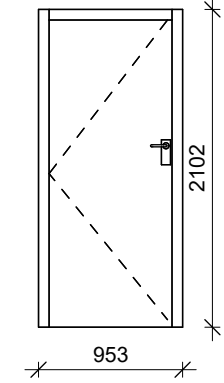
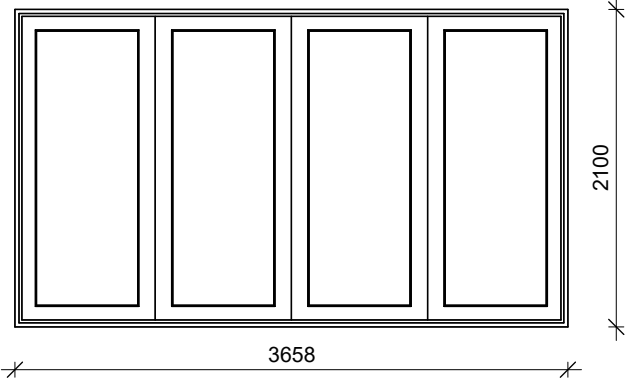
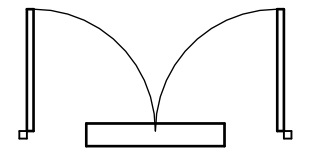
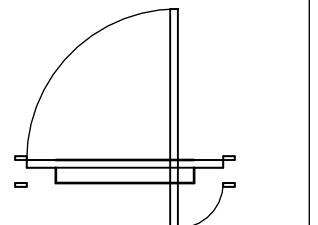
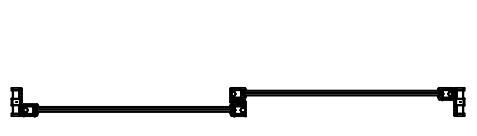
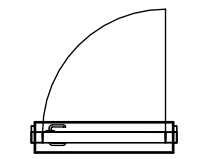
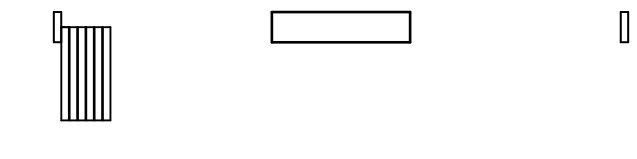
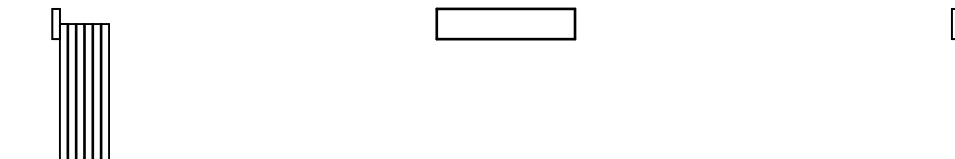
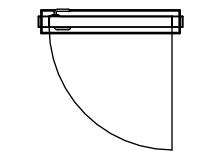
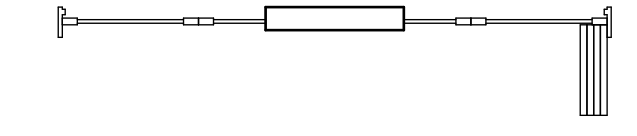
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| <b>ERF NUMBER</b><br>3388          | <b>ALLOTMENT</b><br>Theescombe |
| <b>SCALE</b><br>As indicated on A1 | <b>DATE</b>                    |
| <b>DRAWING NUMBER</b><br>2301/03   | <b>REVISION</b>                |

|             |                                                                                                                                       |                                                                                                                                       |                                                                                                                                       |                                                                                                                                       |                                                                                                                                       |
|-------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| Elevations  |                                                      |                                                      |                                                     |                                                    |                                                    |
| Name        | W1                                                                                                                                    | W2, W4, W5, W10                                                                                                                       | W6, W7, W11, W12                                                                                                                      | W8 - W9                                                                                                                               | W3                                                                                                                                    |
| Quantity    | 1                                                                                                                                     | 5                                                                                                                                     | 2                                                                                                                                     | 1                                                                                                                                     | 1                                                                                                                                     |
| Glazing     | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  |
| Finish      | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided |
| Ironmongery | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                                                                            |

|             |                                                                                     |                                                                                                                                       |                                                                                                                                       |                                                                                     |                                                                                                                                       |                                                                                                                                       |                                                                                       |                                                                                                                                       |
|-------------|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| Elevation   |  |                                                    |                                                    |  |                                                  |                                                  |  |                                                  |
| Plan        |  |                                                    |                                                    |  |                                                  |                                                  |  |                                                  |
| Name        | D6                                                                                  | D1                                                                                                                                    | D7                                                                                                                                    | D1                                                                                  | D9, D10, D24, D11                                                                                                                     | D8                                                                                                                                    | D2, D3, D4, D12, D13, D14, D15, D17, D18, D19, D20, D22                               | D21                                                                                                                                   |
| Glazing     | N/A                                                                                 | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | N/A                                                                                 | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  | N/A                                                                                   | Clear Low E laminated safety glass fixed to all sections. All glass to comply with energy efficiency ratings - SANS 203 and SANS 204  |
| Finish      | Timber                                                                              | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Timber                                                                              | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided | Timber                                                                                | Powder-coated Aluminium in strict conformance with SANS 1796. A ten year guarantee against peeling and discoloration must be provided |
| Ironmongery | As per manufacturer's spec                                                          | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                          | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                                                                            | As per manufacturer's spec                                                            | As per manufacturer's spec                                                                                                            |

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REPORT ANY DISCREPANCIES IMMEDIATELY.  
SHOP DRAWINGS TO BE APPROVED PRIOR TO CONSTRUCTION.  
ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH NATIONAL BUILDING REGULATIONS- SOUTH AFRICAN NATIONAL STANDARDS, AND LOCAL AUTHORITY BY-LAWS.

| REV | REVISION HISTORY    | DATE |
|-----|---------------------|------|
|     | Updated Roof Design |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |
|     |                     |      |

NOTE:

PROJECT

House Ncoyo

CLIENT

Ncoyo

Signature:.....

PICHA

ARCHITECTS

1st Floor, Habourview Building,  
Oakworth Road, Port Elizabeth.

Telephone: +27 41 1011022

Website: www.picha.co.za

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DRAWING TITLE

Door & Window Schedule

DRAWING USE

Municipal Submission

DRAWN

MK

CHECKED

PROFESSIONAL ARCHITECT

MURIITHI KIUGU

09:42 AM (Africa/Johannesburg) on 28 Apr 2023

ERF NUMBER

3388

SCALE

1 : 50 on A1

DRAWING NUMBER

2301/04

ALLOTMENT

Theescombe

DATE

REVISION