

NORTH ELEVATION
SCALE 1:100

SOUTH ELEVATION
SCALE 1:100

EAST ELEVATION

SCALE 1:100

WEST ELEVATION
SCALE 1:100

Concrete roof tiles @ 21° on 38x 38mm SA pine battens at max. 350mm c/c; on Sisalation FR405; on 152mm x 38mm SA pine truss at max 760mm c/c (all in accordance with engineer's drawings and specifications); on top of 114x38mm SA pine wall plates. 6mm Gypsum ceiling fixed in between truss on 38mm x 38mm SA pine bracing at max. 400mm c/c. ISOVER Aerolite insulation (as per calculations) on top of ceiling.

3x 38mm SA pine
on Sisolation FR405; on
it max 760mm c/c (all in
drawings and
38mm SA pine wall
fixed in between truss on
siding at max. 400mm
(as per calculations)

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 on Sicalation
 turins at max.
 inn SA pine
 ill in
 0400 - Part I);
 wall plates.
 top of rafters
 pace - No
 by specialist.

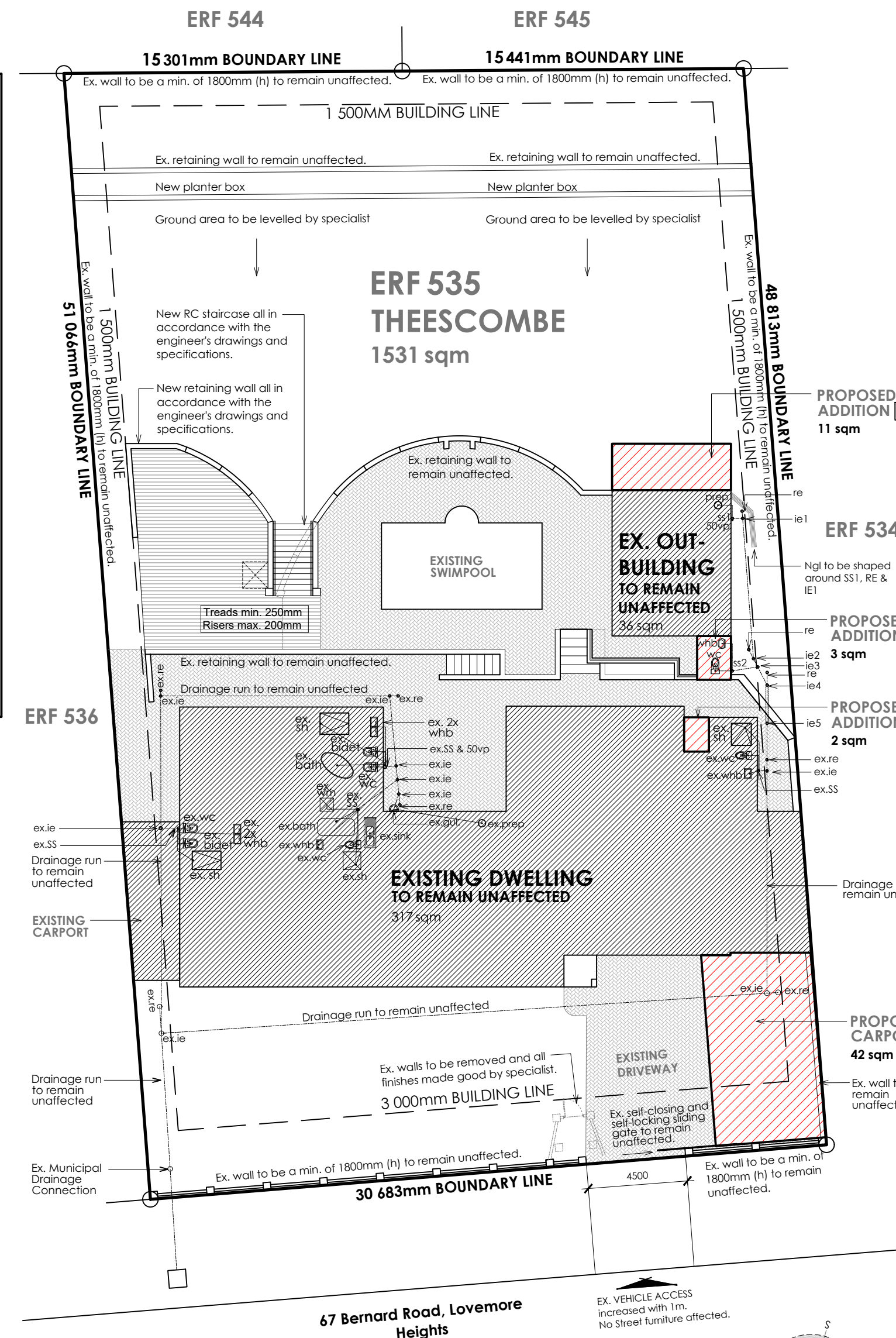
by specialist.

NORTH ELEVATION / OUTBUILDING
SCALE 1:100

MUNICIPAL INFORMATION:		
ErF No.:	ERF 535, THEESCOMBE	
Existing Erf Area:	1531 sqm	
Existing floor Area:	353 sqm	
New floor Area:	58 sqm	
Total Floor Area:	411 sqm	
Ex. Coverage:	353 sqm	- 23.06%
Prop. Coverage:	58 sqm	- 3.79%
Total Coverage:	411 sqm	- 27%
NEW GARAGES:	1	
NEW BATHROOMS:	0	

TOWN PLANNING INFO.		
	(Permitted)	(Proposed)
Zoning:	Single Res 1	Single Res 1
Height Restriction:	8.5M	8.5M
Building Line Front	3000mm	3000mm
Building Line Sides	1500mm	1500mm
Building Line Rear	1500mm	1500mm
Ex. Coverage:	-----	353 sqm - 23.06%
Prop. Coverage:	-----	58 sqm - 3.79%
Total Coverage:	919 sqm - 60%	411 sqm - 27%
FSI	0.60	0.27

<u>PARKING REQUIRED:</u>		
Residential dwelling	1 Bay	1 Bay

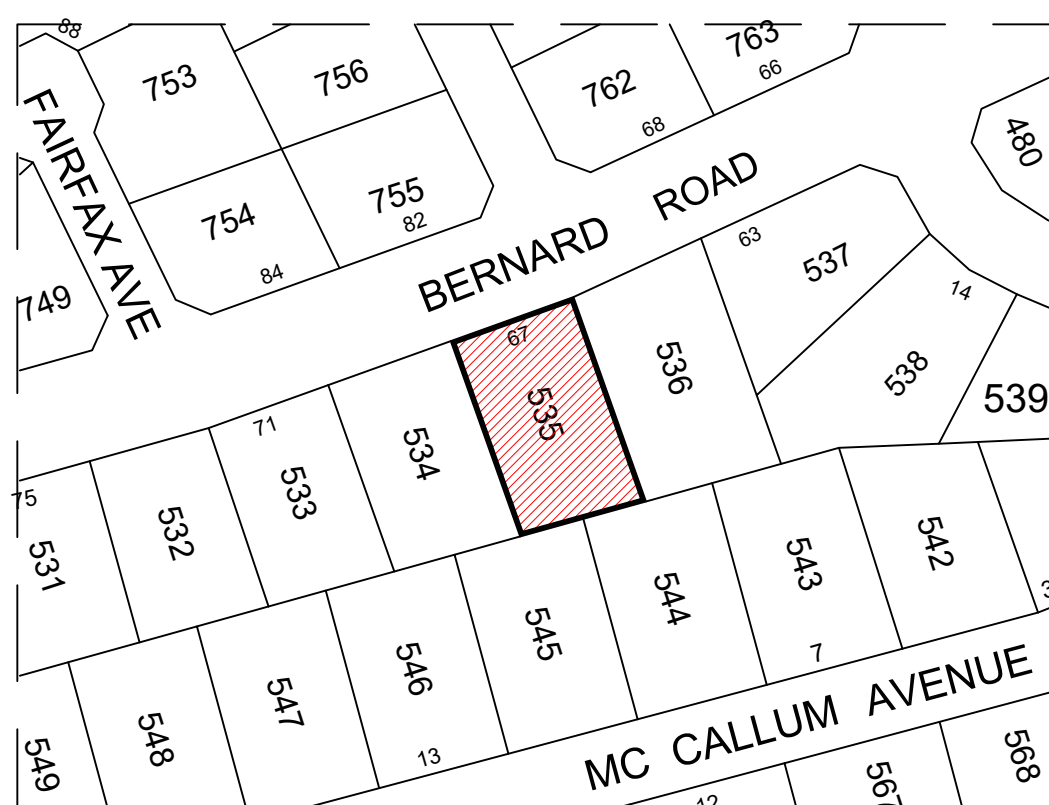


Site Plan

Scale : 1:200

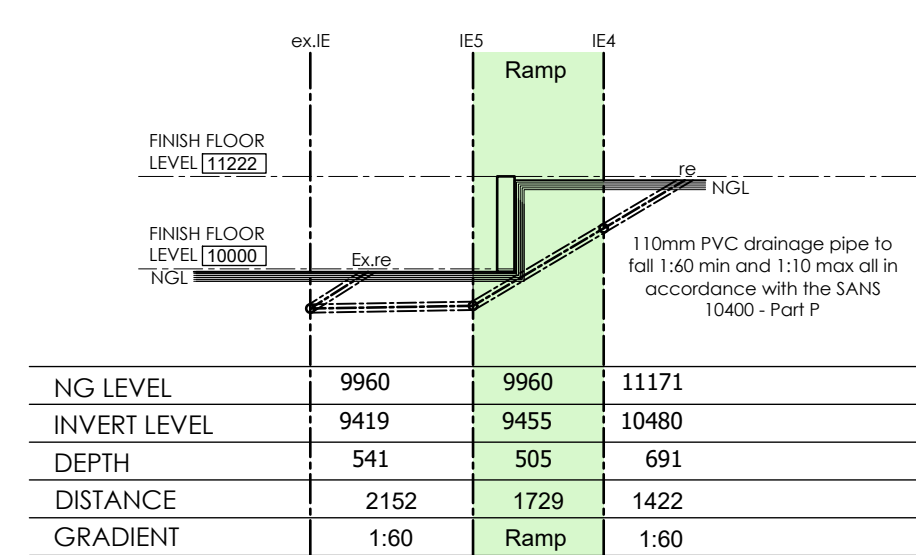
APPLICATION OF SANS 10400-XA (Ed.2)							
ZONE 4 - CLASSIFICATION H4 / Dwelling Houses							
R-VALUE CALCULATIONS FOR ROOF-1							
		REQUIREMENTS	ACTUAL				STATUS
9	ROOF & CEILING ASSEMBLY	The roof and ceiling assemblies are in accordance with the requirements of 5.6 Zone: 4 Direction of Flow: UP 21" Tiled Roof with raked ceiling	21" PITCH ROOF	mm	W/m.K	R-Val.	
			Outer Air-film (1/20)	n/a	n/a	0.05	
			Concrete tiles	25	0.84	0.03	
			Air-space & Sisalation	n/a	0.04	0.55	
			Isover Aerolite insulation	135	0.04	0.347	
			Isover Aerolite insulation	0.0	0.04	0.00	
			Gypsum Ceiling	6.40	0.17	0.04	
			Inner Air-Film (1/11.0)	n/a	n/a	0.09	
			Total R-value:		Req. =>3.7	3.83	In order

APPLICATION OF SANS 10400-XA (Ed.2)						
ZONE 4 - CLASSIFICATION H4 / Dwelling Houses						
		REQUIREMENTS	ACTUAL			STATUS
1	DESIGN	The orientation is in accordance with the requirements of 5.1	Building facing North/South with longest axis orientated East/West			In order
2	SHADING	The shading is in accordance with the requirements of 5.2	See Fenestration calculations			In order
3	FENESTRATIONS & ROOF LIGHTS	The fenestration is in accordance with the requirements of 5.3	See Fenestration calculations			In order
4	FLOOR INSULATION for under floor heating	The floors are in accordance with the requirements of 5.4 5.4.1. Surface bed (Heated) 5.4.2. Suspended (Exposed) R-value >= 1.00	Under slab (Heated):			N/A
			mm	W/m.K	R-Val.	
			Lambdaboard	000	0.024 0.00	
			Total R-value: Req. >=1.0 0.00			
Suspended Floor (Exposed):			mm	W/m.K	R-Val.	
Lambdaboard			000	0.024 0.00	N/A	
Total R-value: Req. >=1.0 0.00						
5	EXTERNAL WALLS Surface density > 270kg/m²	The external walls are in accordance with the requirements of 5.5 (Table 6) Zone 4: 50mm Cavity wall: R-value >= 0.6	External wall:			In order
mm	W/m.K	R-Val.				
Outer Air-film (1/20)			1000	20	0.05	
10mm plaster			015	0.75	0.02	
110mm Brick			110	0.82	0.13	
Air-spaces			1000	6.8	0.15	
Cavity (Lambdaboard)			000	0.024	0.00	
110mm Brick			110	0.82	0.13	
10mm plaster			000	0.75	0.00	
Inner Air-Film (1/9.4)			1000	9.4	0.11	
Total R-value: Req. >=0.6 0.6						
6	BUILDING SEALING	The building sealing is in accordance with the requirements of 5.7	A foam or rubber compressible strip or a fibrous seal to restrict air leakage shall be fitted to each edge of an external door and other such opening that serves a habitable room. The maximum air leakage for windows and doors shall comply with the requirements of SANS 615			In order
7	HOT WATER Classification H4 - Dwellings	The building hot water is in accordance with the requirements of 6.1	No additional bedrooms added.			In order
PIPE INSULATION (hot water pipe)	Internal pipe diameter ≤ 80mm: Minimum R-value of 1.00	Closed cell elastic thermal insulation	mm	W/m.K	R-Val.	
			38	0.036	1.06	
Total R-value: Req. 1.0 1.06						
8	LIGHTING Classification H4	The building lighting is in accordance with the requirements of 6.2	LED & CFL deemed to comply with Table 12 for H3 & H4			In order

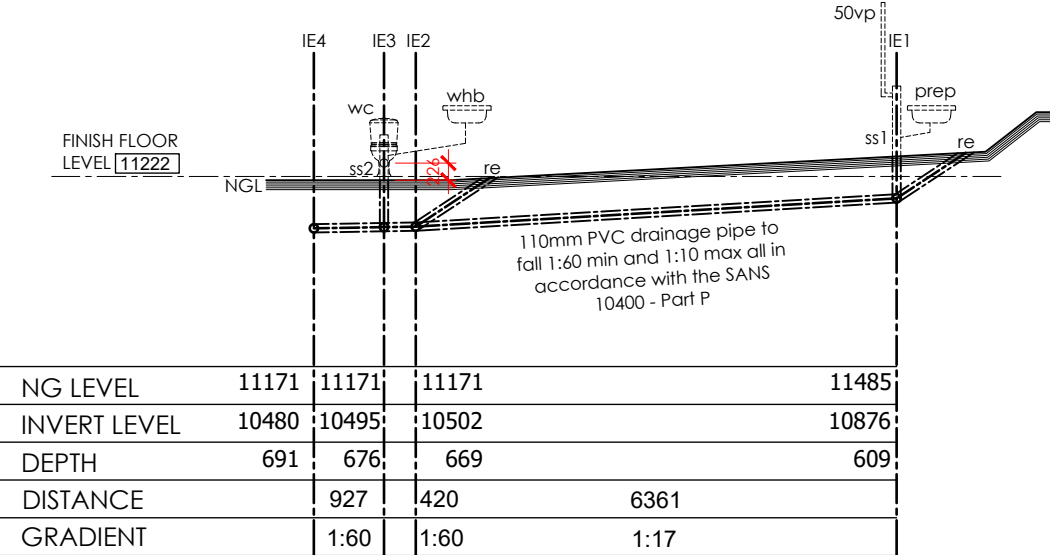


SITE LOCALITY PLAN

NOT TO SCALE



DRAINAGE SECTION A-A (1)



DRAINAGE SECTION A-A (2)

SCALE 1:100

REVISIONS:

[illegible]

GENERAL NOTES:

[illegible]

DRAWING TITLE:

FOR INFORMATION ONLY

PROJECT TITLE:

ADDITIONS AND ALTERATIONS ON **ERF**
535, THEESCOMBE , PORT ELIZABETH
FOR **Mr & Mrs Da Serra**

25 Oct 24

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CLIENT SIGNATURE

bh **BLACKHOUND**
ARCHITECTURE & RENDERING

dewald@blackhoundenterprises.com
072 799 9597 | 072 418 6867 
<https://blackhoundenterprises.com> 
 Unit 10, The Network, 19 Cactus Rd
 Fairview, Port Elizabeth, 6070 

PROFESSIONAL SIGNATURE

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TOTAL AREA:	411 sqm
EX. COVERAGE:	353 sqm - 23.06%
NEW COVERAGE:	58 sqm - 3.79%
TOTAL COVERAGE:	411 sqm - 27%
NEW GARAGES:	1
NEW BATHROOMS:	0
POOL:	N/A
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	32



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PROJECT NO.

2023_DASERRA

DRAWING NO.:
20241025_DASERRA_MS01

DRAWN BY:

DMP

PRINT DATE:
25 Oct 2

REVISION NO.:

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SHEET NO.:

SHEET NO.:

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