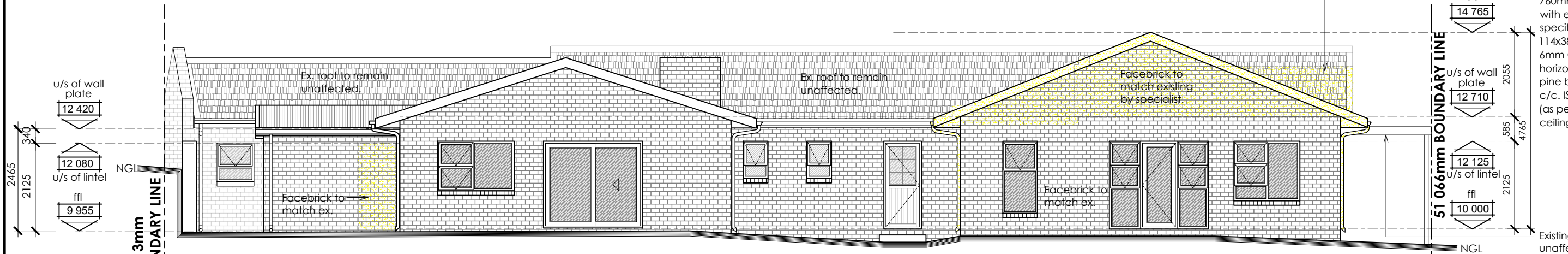
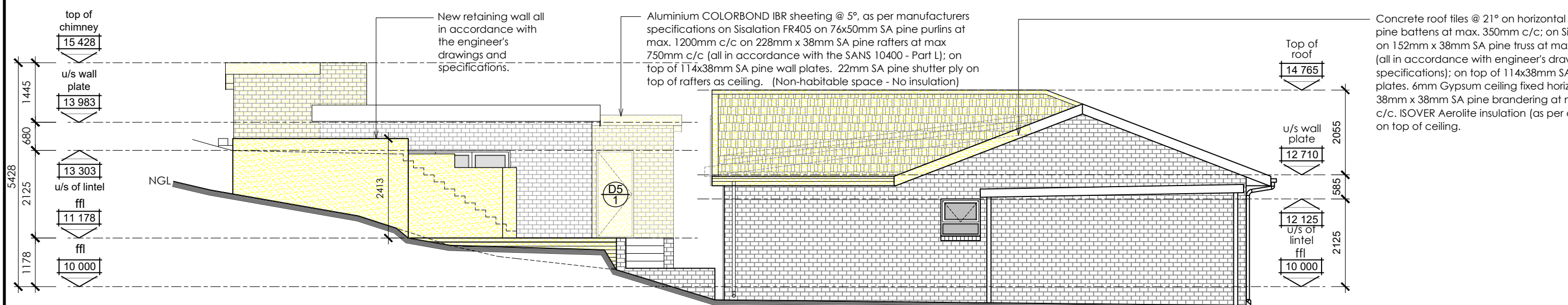


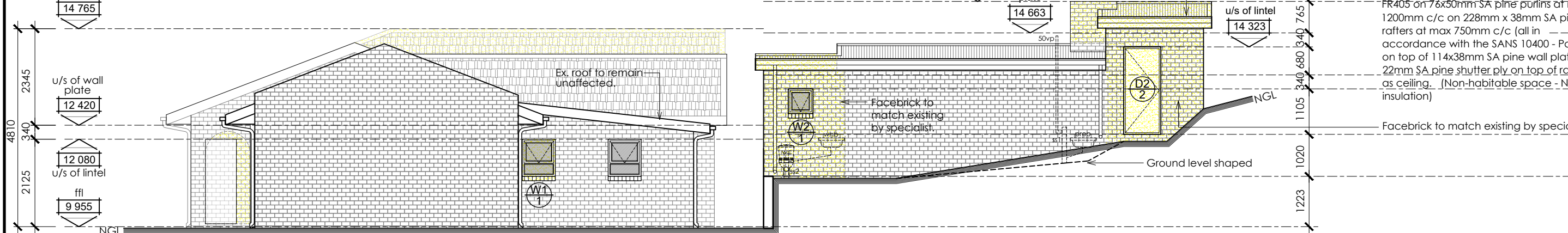
NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

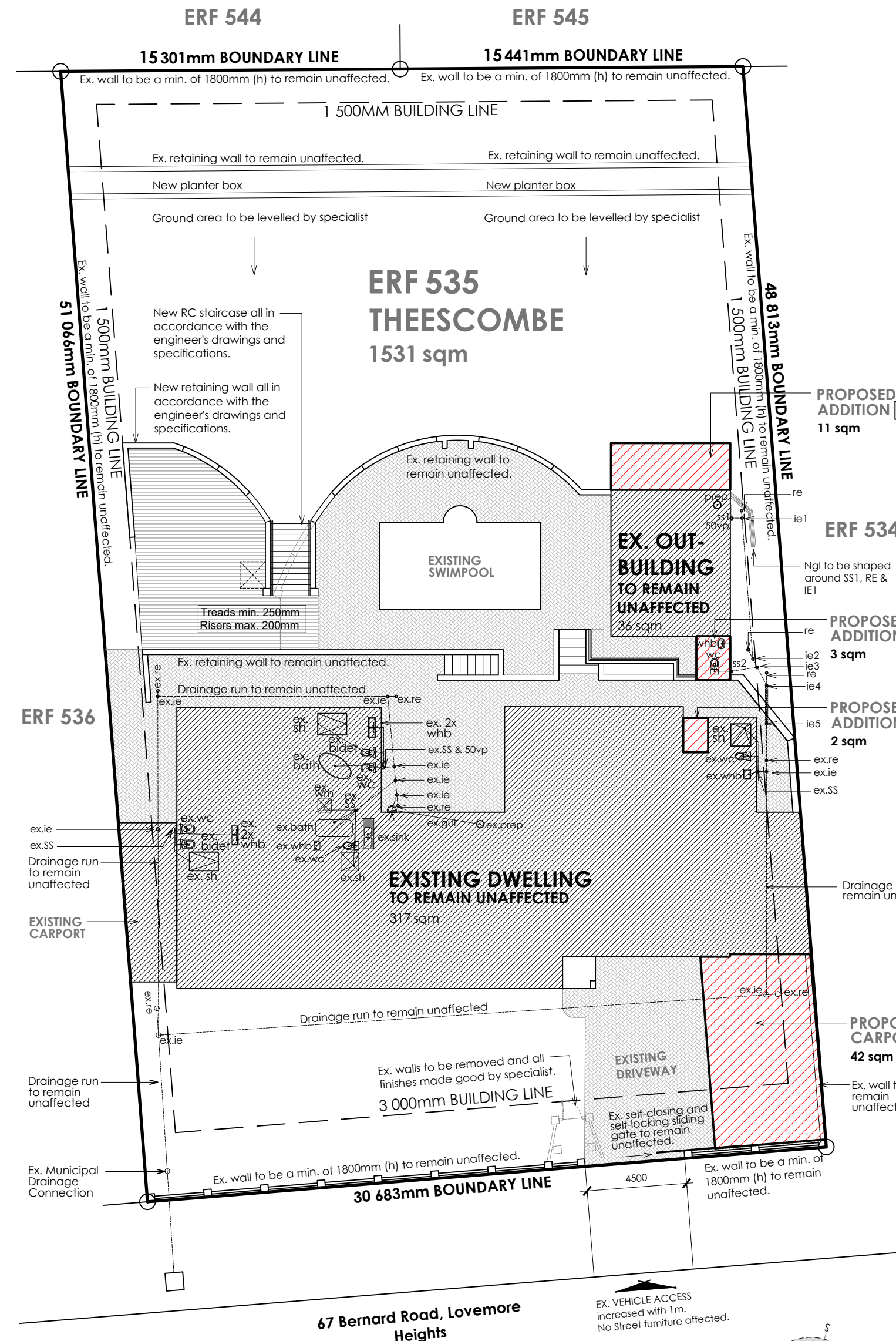


EAST ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

MUNICIPAL INFORMATION:		
Erf No.:	ERF 535, THEESCOMBE	
Existing Erf Area:	1531 sqm	
Existing floor Area:	353 sqm	
New floor Area:	58 sqm	
Total Floor Area:	411 sqm	
Ex. Coverage:	353 sqm - 23.06%	
Prop. Coverage:	58 sqm - 3.79%	
Total Coverage:	411 sqm - 27%	
NEW GARAGES:	1	
NEW BATHROOMS:	0	
TOWN PLANNING INFO.		
	(Permitted)	(Proposed)
Zoning:	Single Res 1	Single Res 1
Height Restriction:	8.5M	8.5M
Building Line Front	3000mm	3000mm
Building Line Sides	1500mm	1500mm
Building Line Rear	1500mm	1500mm
Ex. Coverage:	-----	353 sqm - 23.06%
Prop. Coverage:	-----	58 sqm - 3.79%
Total Coverage:	919 sqm - 60%	411 sqm - 27%
FSI	0.60	0.27
<u>PARKING REQUIRED:</u>		
Residential dwelling	1 Bay	1 Bay

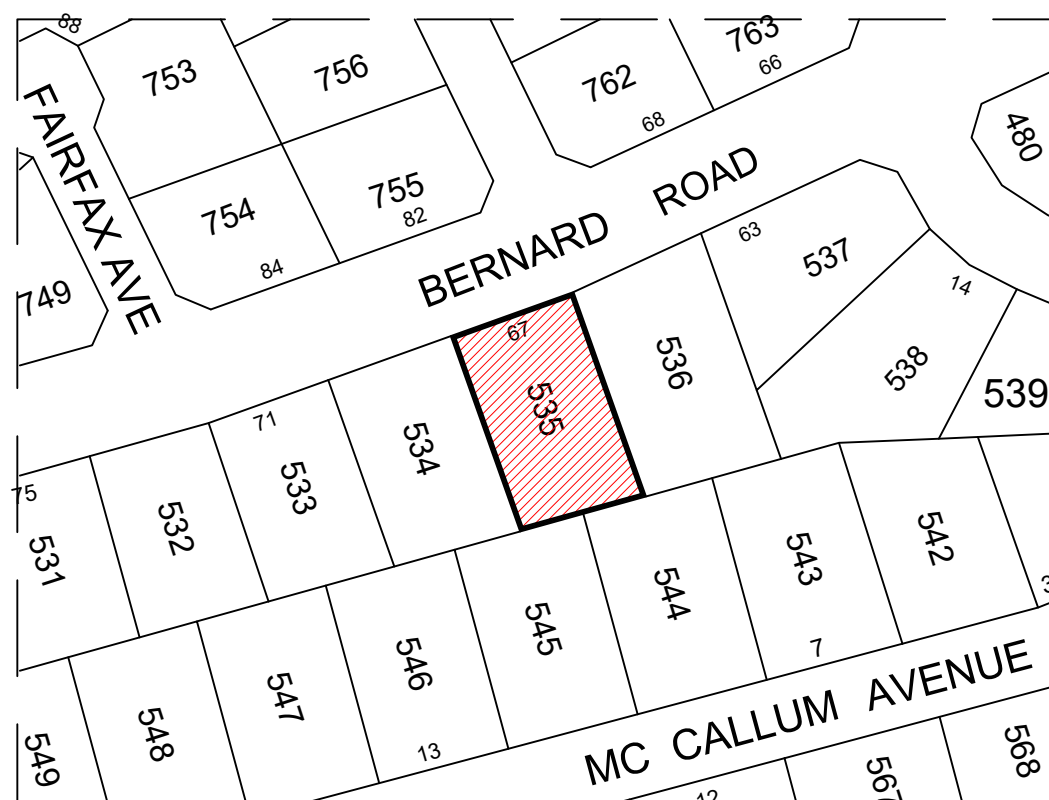


Site Plan
Scale : 1:200

NORTH ELEVATION / OUTBUILDING
SCALE 1:100

APPLICATION OF SANS 10400-XA (Ed.2)									
ZONE 4 - CLASSIFICATION H4 / Dwelling Houses									
R-VALUE CALCULATIONS FOR ROOF-1									
6	ROOF & CEILING ASSEMBLY	REQUIREMENTS	ACTUAL					STATUS	
				mm	W/m.K	R-Val.			
		The roof and ceiling assemblies are in accordance with the requirements of 5.6	21° PITCH ROOF						
			Outer Air-film (1/20)	n/a	n/a	0.05			
			Concrete tiles	25	0.84	0.03			
			Air-space & Sisalation	n/a	n/a	0.55			
			Isover Aerolite insulation	135	0.044	0.57			
			Gypsum Ceiling	0.0	0.04	0.00			
			Inner Air-Film (1/11.0)	6.40	0.17	0.04			
				n/a	n/a	0.09			

APPLICATION OF SANS 10400-XA (Ed.2)									
ZONE 4 - CLASSIFICATION H4 / Dwelling Houses									
		REQUIREMENTS	ACTUAL			STATUS			
1	DESIGN	The orientation is in accordance with the requirements of 5.1	Building facing North/South with longest axis orientated East/West			In order			
2	SHADING	The shading is in accordance with the requirements of 5.2	See Fenestration calculations			In order			
3	FENESTRATIONS & ROOF LIGHTS	The fenestration is in accordance with the requirements of 5.3	See Fenestration calculations			In order			
4	FLOOR INSULATION for under floor heating	The floors are in accordance with the requirements of 5.4	Under slab (Heated):			N/A			
			mm	W/m.K	R-Val.				
			Lambdaboard	000	0.024		0.00		
			Total R-value: Req. >=1.0						
			Suspended Floor (Exposed):						
	5.4.1. Surface bed (Heated) 5.4.2. Suspended (Exposed) R-value >= 1.00	mm	W/m.K	R-Val.					
		Lambdaboard	000	0.024	0.00				
		Total R-value: Req. >=1.0			0.00	N/A			
5	EXTERNAL WALLS Surface density > 270kg/m²	The external walls are in accordance with the requirements of 5.5 (Table 6)	External wall:			N/A			
			mm	W/m.K	R-Val.				
			Outer Air-film (1/20)				1000	20	0.05
			10mm plaster				015	0.75	0.02
			110mm Brick				110	0.82	0.13
			Air-spaces				1000	6.8	0.15
			Cavity (Lambdaboard)				000	0.024	0.00
			110mm Brick				110	0.82	0.13
			10mm plaster				000	0.75	0.00
			Inner Air-Film (1/9.4)				1000	9.4	0.11
	Zone 4: 50mm Cavity wall: R-value >= 0.6	Total R-value: Req. >=0.6			0.6	In order			
6	BUILDING SEALING	The building sealing is in accordance with the requirements of 5.7	A foam or rubber compressible strip or a fibrous seal to restrict air leakage shall be fitted to each edge of an external door and other such opening that serves a habitable room.			In order			
		The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.							
7	HOT WATER Classification H4 - Dwellings	The building hot water is in accordance with the requirements of 6.1	No additional bedrooms added.			In order			
	PIPE INSULATION (hot water pipe)	Internal pipe diameter < 80mm: Minimum R-value of 1.00	Closed cell elastomeric thermal insulation			In order			
			mm	W/m.K	R-Val.				
			38	0.036	1.06				
		Total R-value: Req. 1.0			1.06				
8	LIGHTING Classification H4	The building lighting is in accordance with the requirements of 6.2	LED & CFL deemed to comply with Table 12 for H3 & H4			In order			



SITE LOCALITY PLAN
NOT TO SCALE

DRAINAGE SECTION A-A (1)
SCALE 1:100

NG LEVEL	9960	9960	11171
INVERT LEVEL	9419	9455	10480
DEPTH	541	505	691
DISTANCE	2152	1729	1422
GRADIENT	1:60	Ramp	1:60

DRAINAGE SECTION A-A (2)
SCALE 1:100

NG LEVEL	11171	11171	11171	11485
INVERT LEVEL	10480	10495	10502	10876
DEPTH	691	676	669	609
DISTANCE	927	420	6361	
GRADIENT	1:60	1:60	1:17	

REVISIONS:

NO.	DESCRIPTION	DATE
1	11 sqm	
2	3 sqm	
3	2 sqm	
4	42 sqm	

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the client's OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is issued it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part C. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouwens renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunplas' ub's green dpm on 50mm sand binding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gunder' 375 mic. dpc under all walls, window cills and at changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 msl of new floor level. Msl is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

FOR INFORMATION ONLY

PROJECT TITLE:

ADDITIONS AND ALTERATIONS ON ERF 535, THEESCOMBE, PORT ELIZABETH FOR Mr & Mrs Da Serra

CLIENT SIGNATURE:

devald@blackhousedownterprises.com
072 799 5597 | 072 418 6867
https://blackhousedownterprises.com
Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth, 6070

26 Sep 24

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO.:	535, Theescombe
ERF AREA:	1531 sqm
EXISTING AREA:	353 sqm
NEW AREA:	58 sqm
TOTAL AREA:	411 sqm
EX. COVERAGE:	353 sqm - 23.06%
NEW COVERAGE:	58 sqm - 3.79%
TOTAL COVERAGE:	411 sqm - 27%
NEW GARAGES:	1
NEW BATHROOMS:	0
POOL:	N/A
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	32

PROFESSIONAL ARCHITECTURAL
TECHNOLOGIST
DEWALD MATHYS POTGIETER
18-01 pin (Africa/Johannesburg) on 26 Sep 2024

COPYRIGHT:

This drawing is subject to copyright, and may not be reproduced in whole or part in any matter whatsoever without written permission from Blackhound Architecture & Rendering.

PROJECT NO.:

2023_DASERRA

DRAWING NO.:

20240904_DASERRA_MS01

DRAWN BY:

DMP

PRINT DATE:

26 Sep 2024

REVISION NO.:

00

SHEET NO.:

001