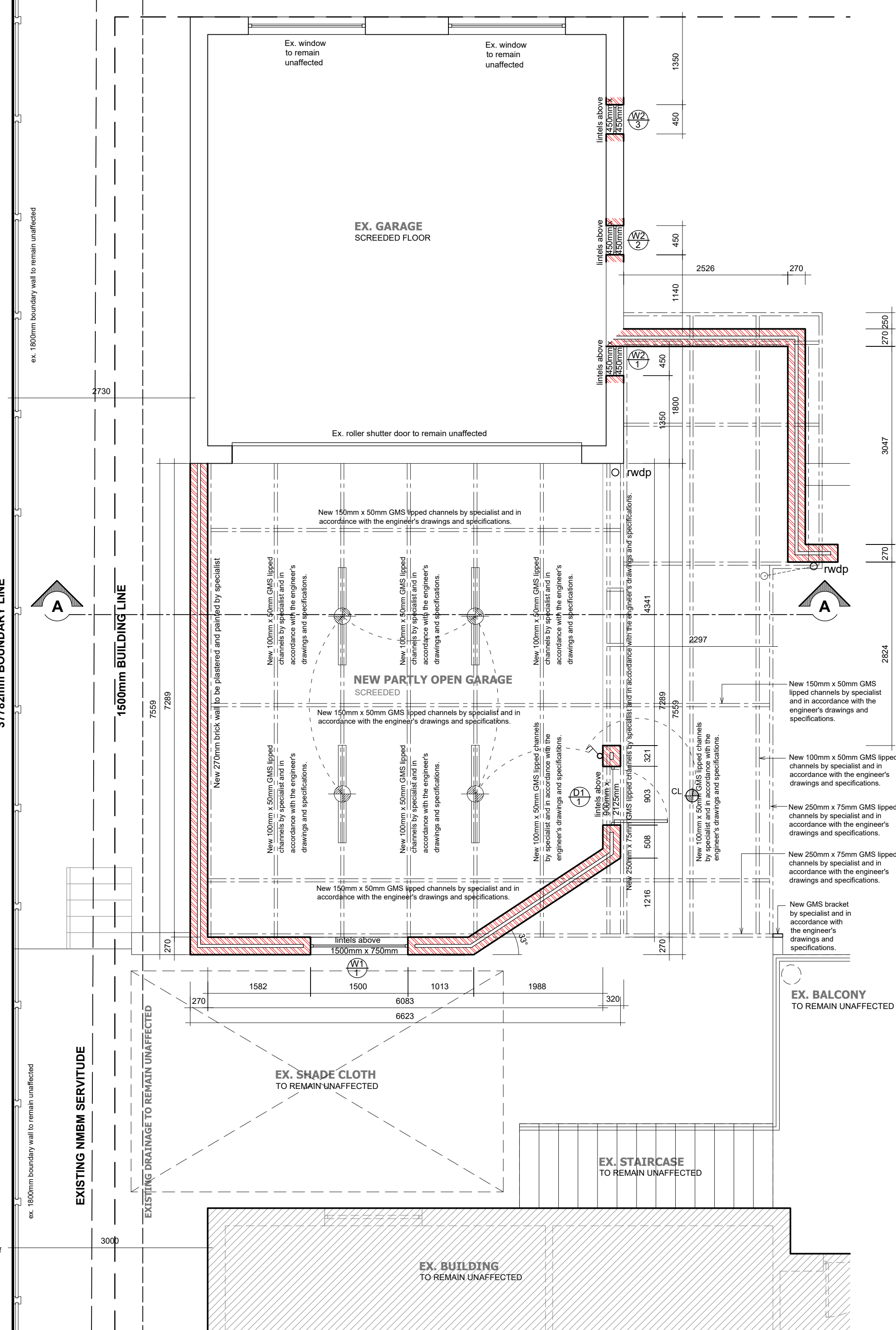
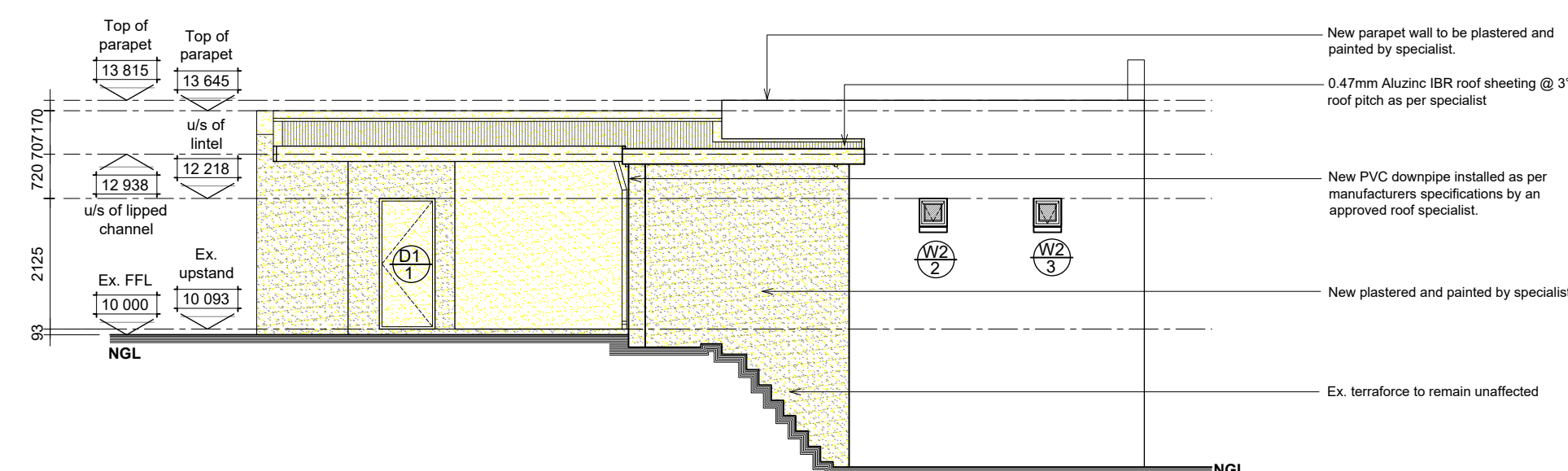
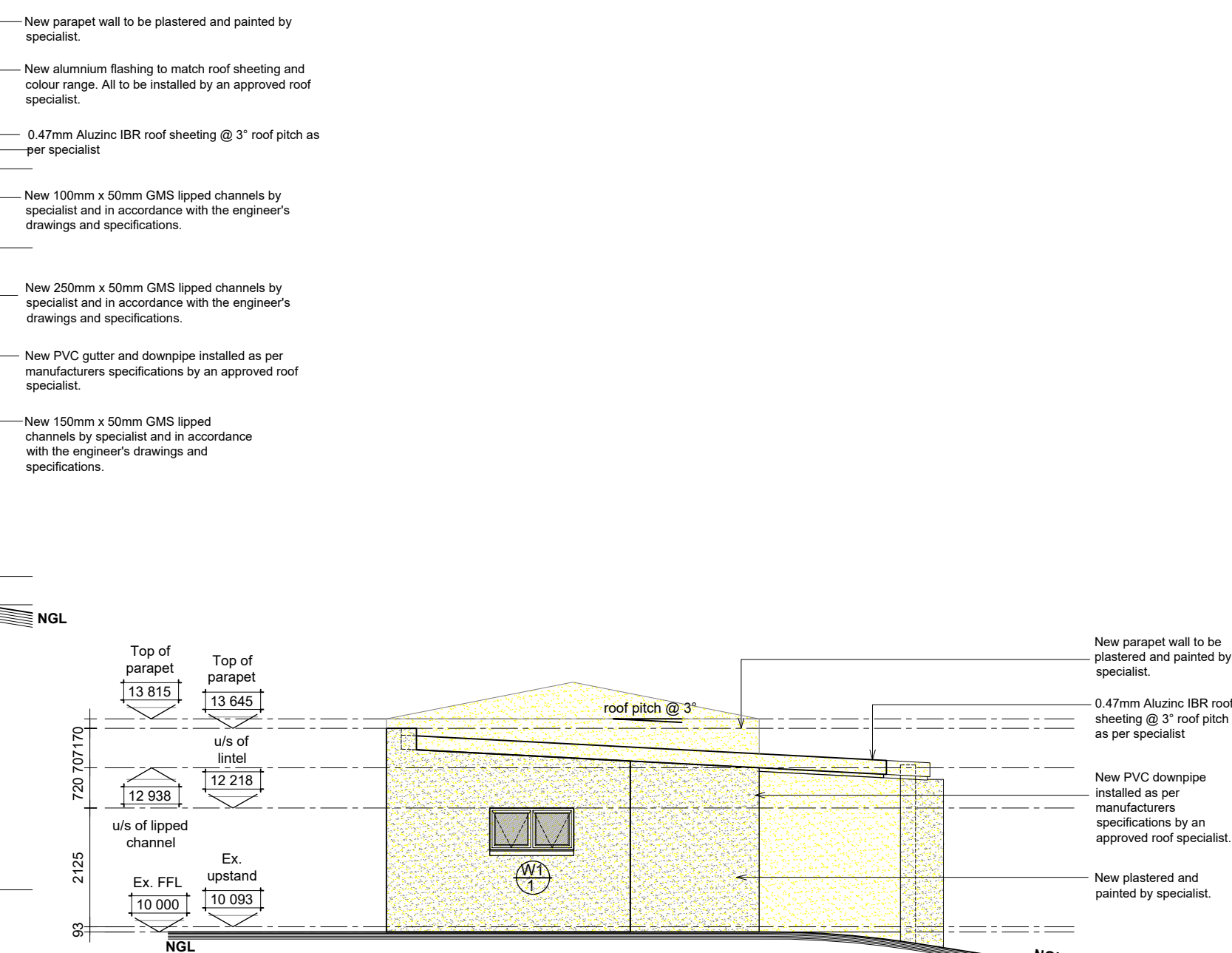
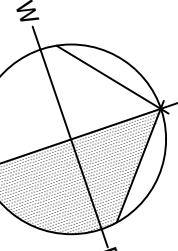
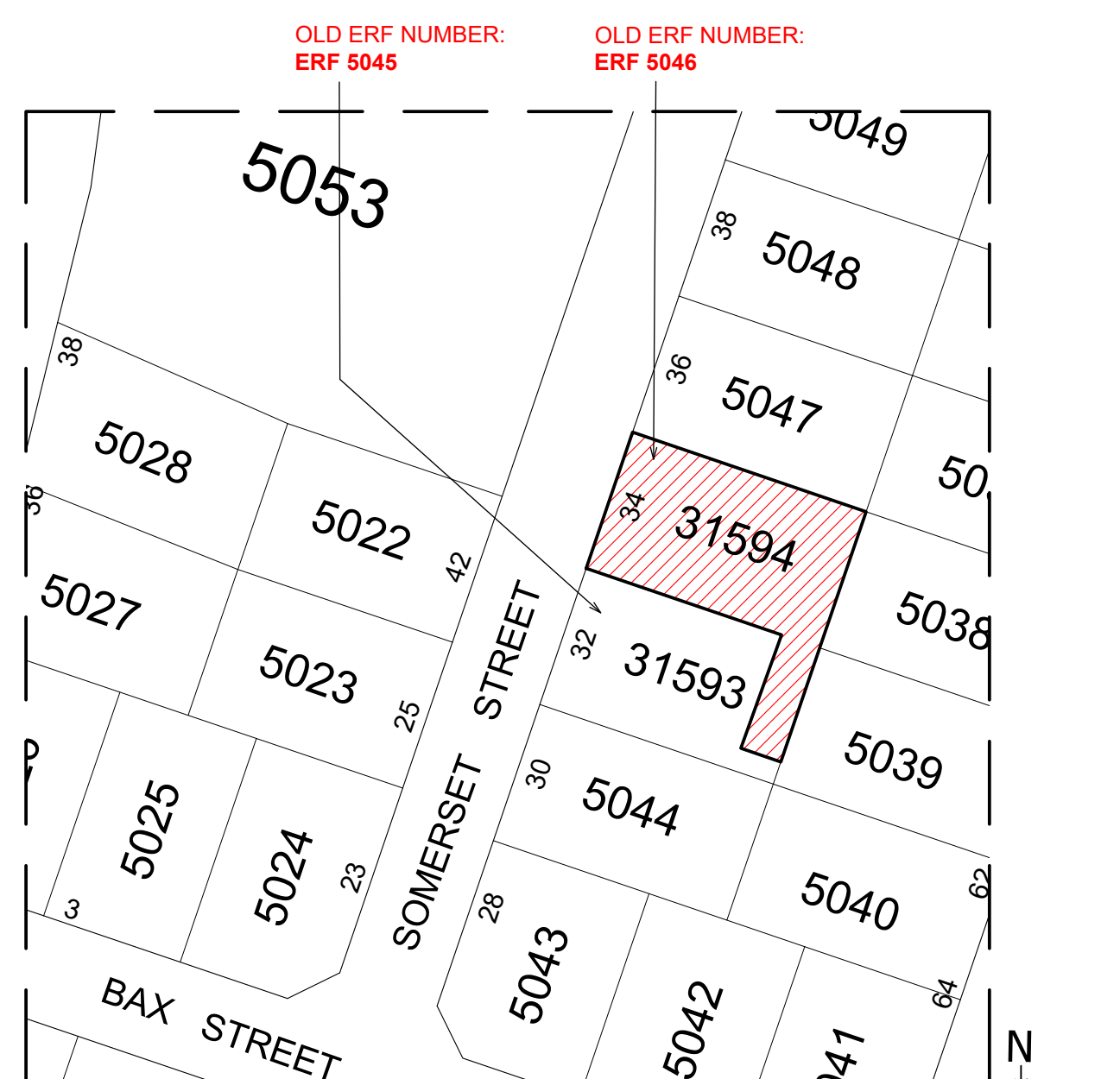
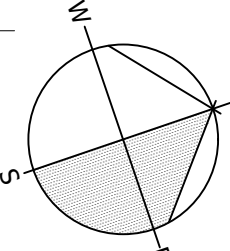
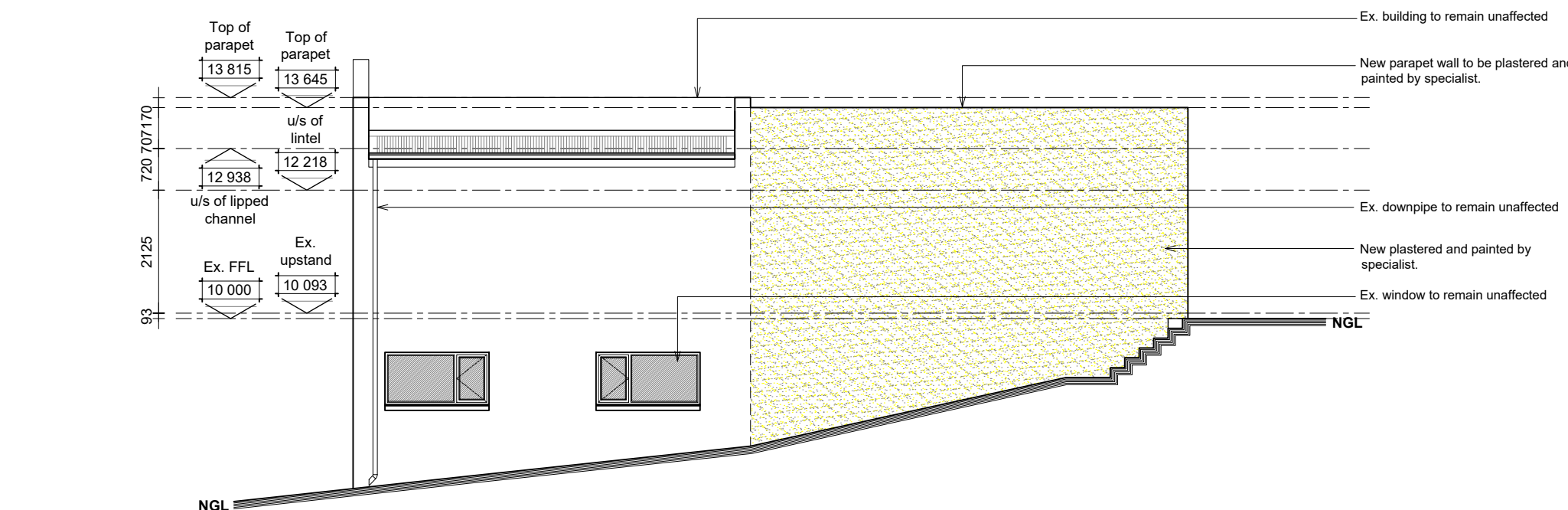
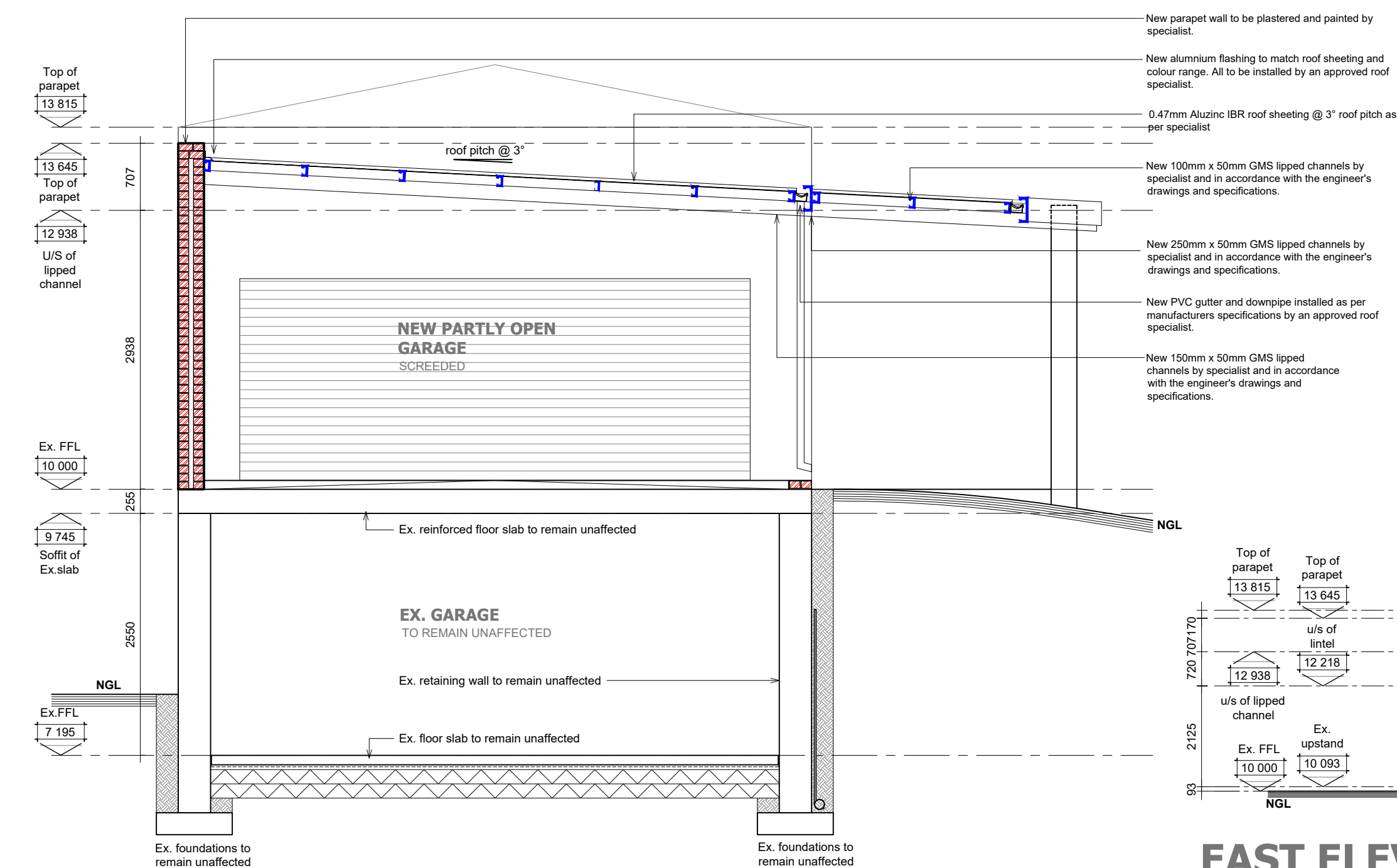
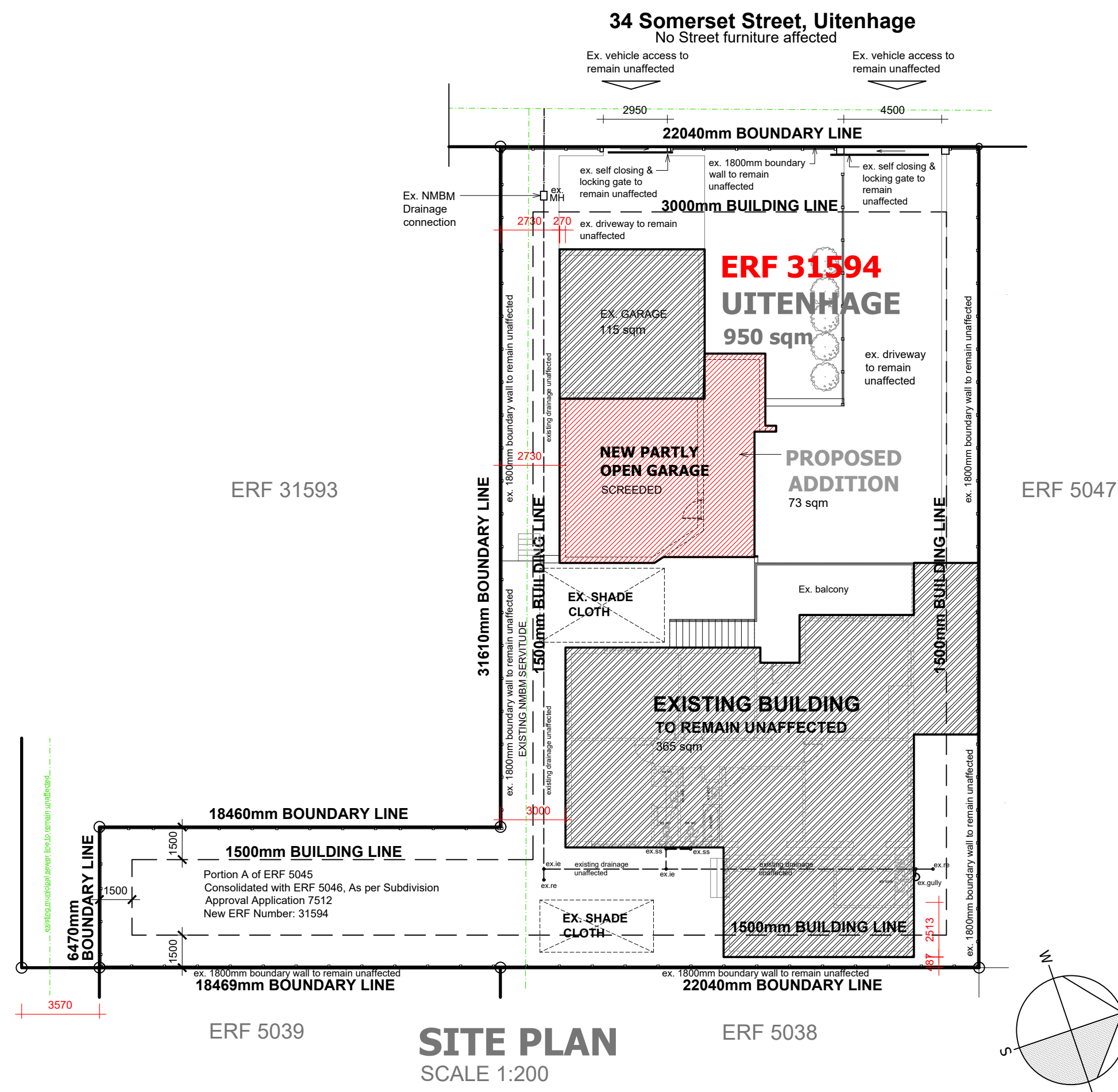




TOWN PLANNING INFORMATION

ERF 31594, Uitenhage	
ERF AREA	950 sqm
EXISTING COVERAGE	294 sqm - 31%
PROPOSED NEW COVERAGE	73 sqm - 8%
TOTAL COVERAGE	367 sqm - 39%
FSI EXISTING - 480sqm / 950sqm	0.51
PROPOSED NEW TOTAL FSI - 553sqm / 950sqm	0.58
FSI PERMITTED - n/a	N/A

MUNICIPAL INFORMATION:			
	RES1		RES1
TOWN PLANNING	Required	Provided	
ERP NO.	ERP 31594, Uitenhage	ERP 31594, Uitenhage	
ZONING	RES1	RES1	
HEIGHT RESTRICTION	-	-	
BUILDING LINE FRONT	3000mm	3000mm	
BUILDING LINE SIDES	1500mm	1500mm	
BUILDING LINE REAR	1500mm	1500mm	
EXISTING ERF AREA:	833 sqm	833 sqm	
EXISTING AREA:	480 sqm	480 sqm	
NEW AREA:	553 sqm	553 sqm	
TOTAL AREA:	553 sqm	553 sqm	
COVERED COVERAGE:	73 sqm - 31%	294 sqm - 31%	
NEW COVERAGE:	73 sqm - 8%	73 sqm - 8%	
TOTAL COVERAGE:	367 sqm - 39%	367 sqm - 39%	
PARKING BAYS	0 Bays	0 Bays	
FSI	TBC	0.58	

AREA LEGEND	
<u>TOTAL AREA OF EX. BUILDING:</u>	<u>365 sqm</u>
EX. LAPA:	22 sqm
EX. GARAGE (BELOW BUILDING):	56 sqm
EX. BASEMENT (BELOW BUILDING):	67 sqm
REMAINDER OF EX. DWELLING:	198 sqm
<u>TOTAL AREA OF EX. GARAGES:</u>	<u>115 sqm</u>
EX. GARAGE (Upper Ground level):	46 sqm
EX. GARAGE (Lower Ground level):	69 sqm
<u>TOTAL NEW AREA:</u>	<u>73 sqm</u>
NEW PARTLY-OPEN GARAGE	73 sqm

[illegible]

GENERAL NOTES:

[illegible]

DRAWING TITLE:

MUNICIPAL SUBMISSION

PROJECT TITLE:

ADDITIONS AND ALTERATIONS ON **ERF**
31594, UITENHAGE , UITENHAGE FOR
VAN-R TRUST

12 Jun 24

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CLIENT SIGNATURE

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12 Jun 24

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PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	31594, UITENHAGE
ERF AREA:	950 sqm
EXISTING AREA:	480 sqm
NEW AREA:	73 sqm
TOTAL AREA:	553 sqm
EX. COVERAGE:	294 sqm - 31%
NEW COVERAGE:	73 sqm - 8%
TOTAL COVERAGE:	367 sqm - 39%
NEW GARAGES:	1
NEW BATHROOMS:	N/A
POOL:	NO
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	<60



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