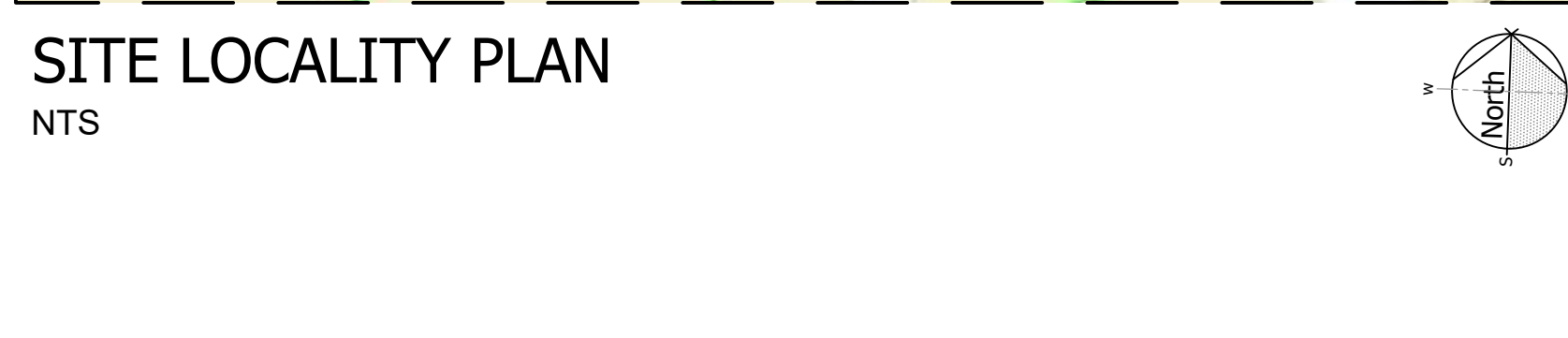


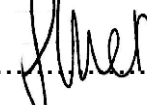
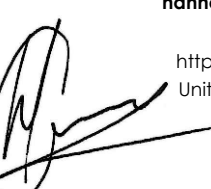


MUNICIPAL INFORMATION: FORM			
TOWN PLANNING		RES1	RES1
ERF NO:	ERF 924	Provided	ERF 924
ZONING	RES1		RES1
HEIGHT RESTRICTION	TBC		Single Storey
BUILDING LINE FRONT	TBC		0mm
BUILDING LINE SIDES	TBC		0mm
BUILDING LINE REAR	TBC		0mm
EXISTING ERF AREA:	1221 sqgm		1221 sqgm
EXISTING AREA:	410 sqgm		410 sqgm
NEW AREA:	43 sqgm		43 sqgm
TOTAL AREA:	453 sqgm		453 sqgm
OFFICE SPACE	40sqgm		40sqgm
BATHROOM	10.4 sqgm		10.4 sqgm
KITCHEN	5.5sqgm		5.5sqgm
EXISTING COVERAGE:	219 sqgm - 17.9%	219 sqgm	- 17.9%
NEW COVERAGE:	43 sqgm - 3.5%	43 sqgm	- 3.5%
TOTAL COVERAGE:	262 sqgm - 21.5%	262 sqgm	- 21.5%
NEW GARAGES:	2	2	
NEW BATHROOMS:	0	0	
PARKING BAYS	11 Bays	37 Bays	
4 BAYS / 100sqm for office use	40 sqgm	2 Bays	
1BAY / 100sqm for warehouse	829 sqgm	8 Bays	
FSI	TBC	0.37	
TOWN PLANNING INFORMATION			
ERF 924, SEA VISTA, ST. FRANCIS BAY			
ERF AREA 1221 sqgm		1221 sqgm	
EXISTING COVERAGE @ 219 sqgm 17.9%		41 sqgm - 17.9%	
PROPOSED NEW COVERAGE		43 sqgm - 3.5%	
TOTAL COVERAGE		262 sqgm - 21.5%	
FSI EXISTING - 410sqm / 1221sqgm		0.337	
PROPOSED NEW TOTAL FSI - 453sqgm / 1221sqgm		0.36	
FSI PERMITTED - n/a		N/A	
PARKING REQUIRED 6 BAYS / 100 sqgm for Shops (0 sqgm x 0.06)		0.0 parkings req.	
1 BAY / 100 sqgm for Storage (0 sqgm x 0.01)		0.0 parkings req.	
4 BAYS / 100 sqgm for Offices (0 sqgm x 0.04)		0.0 parkings req.	
0 BAYS / 100 sqgm for Other (0 sqgm x 0.00)		0.0 parkings req.	
		= 0.0 REQ.	
PARKING PROVIDED BAY FOR DISABLED NORMAL BAYS		1 parking 22 parkings	
		= 23 PROVIDED	

St Francis Bay Aesthetics
Status: Supported
Signature: *Judy K*
Date: 29 Oct 2024
See attached certificate

GENERAL NOTE 37

All dimensions to be checked on site before construction commences. All dimensions are to be checked and, unless otherwise specified, Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified person with sufficient knowledge of the building industry as required by Construction Regulation 194. Drawings to be read in conjunction with the clients OH&S (Occupational Health and Safety) Manual. All work to be carried out in accordance with the National Building Regulations SANS 10400. Before the drawing is priced it is the contractor's responsibility to ensure he is familiar with the drawings and specifications and to ensure that they are by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All materials to be used must be of the highest quality and are to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part C. All new work to be made good to the satisfaction of the architect. All work to be done in the G.O. Gouws roads. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the architect immediately. All dimensions to be checked by architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. All dimensions to be taken from the bottom of the concrete slabs. Drawings to be on 250 mm² "gumpus" ultra green damp 30 mm sand binding layer and on well compacted fill in layers not more than 150mm. SABS Approved 300 x 375 mm. dpc under all walls, window cills and at changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. The contractor is to work to be in accordance with the national building regulations. No record measurements to be taken on site by roof specialist prior to roof construction. All floor levels to be taken from the bottom of the concrete slabs. The drawings shown are relative to a benchmark of 100.000 msl of new floor level. This is not the actual level but a benchmark to base other levels on. The building is to be constructed on a firm surface. Keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with the aid of a surveyor. The contractor is to be held responsible for all health and safety measures on site.

MUNICIPAL SUBMISSIONS	
PROJECT TITLE:	
ADDITIONS AND ALTERATIONS ON ERF 924, SEA VISTA , ST. FRANCIS BAY FOR Mr & Mrs Owen	
	22 Oct 24
CUSTOMER SIGNATURE	
th BLACKHOUND ARCHITECTURE & RENDERING	
 hannes@blackhoundenterprises.com ☎ 072 799 9597 072 418 6867 ✉ https://blackhoundenterprises.com/ 🌐 Unit 10, The Network, 19 Cactus Rd Fairview, Port Elizabeth, 6070	
22 Oct 24	
PROFESSIONAL SIGNATURE	

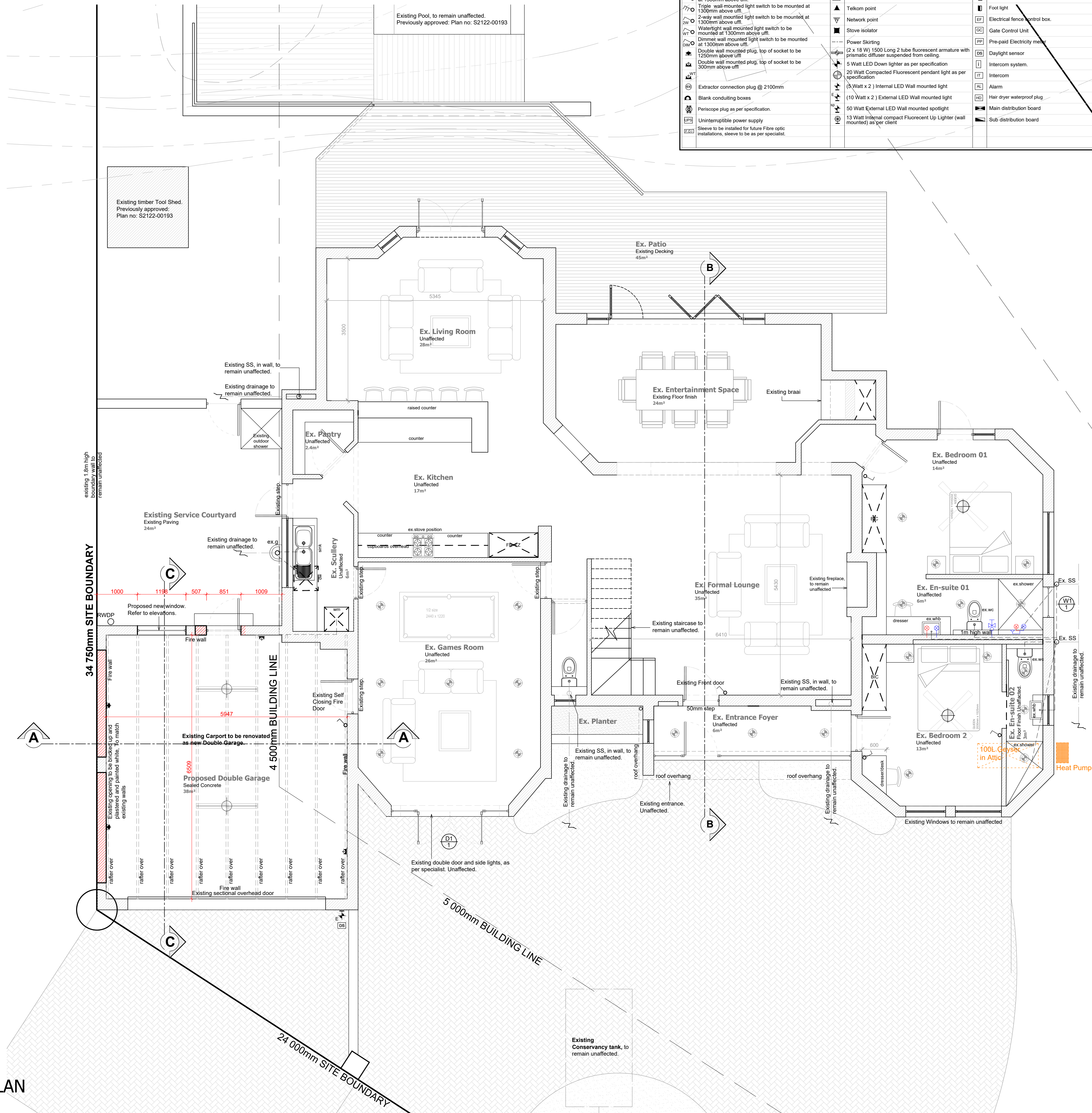

**PROFESSIONAL SENIOR
ARCHITECTURAL TECHNOLOGIST**
JOHANNES STEPHANUS GOUWS
 17:00 pm (Africa/Johannesburg) on 22 Oct 2024
 

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PROJECT NO.: 2024_Owen	REVISION NO.: A1
DRAWING NO.: 20240925_Owen_MP_09	SHEET NO.:
DRAWN BY: HG	001
PRINT DATE: 22 Oct 2024	
PAGE SIZE: A1	

NOTE: Basic electrical indicated. All electrical amendments and fittings to be approved by the client, and installed as per specialist.



ELECTRICAL LEGEND

	Garage door ceiling mounted motor		Stairlights (wall mounted) as per client
	TV point aerial		LED Strip Lighting
	Shavers plug		Pool light as per client
	Telkom point		Foot light
	Network point		Electrical fire control box.
	Stove isolator		Gate Control Unit
	Power Skirting		Pre-paid Electricity meter
	2 x 18 W 1500 Long 2 tube fluorescent armature with trim diffuser suspended from ceiling		Daylight sensor
	5 Watt LED Down lighter as per specification		Intercom system.
	20 Watt Compact Fluorescent pendant light as per specification		Intercom
	(3, Watt x 2) Internal LED Wall mounted light		Alarm
	(10 Watt x 2) External LED Wall mounted light		Hair dryer waterproof plug
	50 Watt External LED wall mounted spotlight		Main distribution board
	13 Watt Internal compact Fluorescent Up Lighter (mounted) as per client		Sub distribution board

WATER RETICULATION LEGEND

	Proposed cold water reticulation	100mm flexible polyester blanket insulation to new geyser to achieve R-value of 2.00
	Proposed hot water reticulation	
	Municipal water connection and stop cock	
	Proposed cold water source point: plumber to tap into existing cold water pipe at this point	
	Proposed cold water pipe (Filter pipe)	
	Proposed cold water pipe (Dropper pipe)	
	Proposed hot water pipe (Dropper pipe)	
	Proposed cold water stopcock	
	Proposed hot water stopcock	
	Proposed cold tap	
	Proposed hot tap	
	Shower head	
	Garden tap position	
	External mounted heat pump as per specialist.	
	Solar geyser on roof with geyser in the ceiling space as per specialist.	

REVISIONS:

[illegible]

GENERAL NOTES

[illegible]

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE

ADDITIONS AND ALTERATIONS ON **ERF**
924, SEA VISTA, ST. FRANCIS BAY FOR
Mr & Mrs Owen

CLIENT SIGNATURE _____



hannes@blackhoundenterprises.com
072 799 9597 | 072 418 6867
<https://blackhoundenterprises.com>
Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth, 6070

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	924, Sea Vista
ERF AREA:	1221 sqm
EXISTING AREA:	410 sqm
NEW AREA:	43 sqm
TOTAL AREA:	453 sqm
EX. COVERAGE:	219 sqm - 18%
NEW COVERAGE:	43 sqm - 4%
TOTAL COVERAGE:	262 sqm - 21%
NEW GARAGES:	2
NEW BATHROOMS:	0
POOL:	EXISTING
BOUNDARY WALLS:	Existing M
AGE OF BUILDING:	6



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PROJECT NO.: 2024_Owen_	REVISION NO.: A1
DRAWING NO.: 20241022_Owen_MP_09	SHEET NO.: 101
DRAWN BY: HG	
PRINT DATE: 22 Oct 2024	PAGE SIZE: A1

GROUND FLOOR PLAN

Scale 1:50

Charcoal Powdercoat IFR roof sheeting @ 5° as per specialist on 50mm x 76mm Timber purlins at max 1000mm c/c on 228mm x 76mm Timber Rafter at max. 750mm c-c as per manufacturers specifications. All to be in accordance with the NBR SANS 10400: Part L. As per engineer.

uPVC Gutter and downpipe, to match existing, fixed to 228mm x 28mm Fascia, as per specialist.

Proposed Window, refer to plan. All trades to be made good, as per specialist.

SECTION C-C

Scale 1 : 5 0

Charcoal Powdercoat IFR roof sheeting @ 5° as per specialist on 50mm x 76mm Timber purlins at max 1000mm c/c on 228mm x 50mm Timber Rafter at max. 750mm c-c as per manufacturers specifications. All to be in accordance with the NBR SANS 10400: Part L. As per engineer.

FIRST FLOOR PLAN

Scale 1:50

Existing brick wall to be raised by 6 x brick courses, all round.

SOUTH ELEVATION

Scale 1:100

Existing brick wall to be raised by 3 x brick courses, all round.

Existing window to be discarded, new door to be fitted as per specialist.

uPVC Gutter and downpipe, to match existing, fixed to 228mm x 28mm Fascia, as per specialist.

Proposed new window.

NORTH ELEVATION

Scale 1:100

EAST ELEVATION

Scale 1:100

Existing brick wall to be raised by 6 x brick courses, all round.

Existing openings to be bricked up, plastered and painted to match existing.

WEST ELEVATION

Scale 1:100

KOUGA MUNICIPALITY

Building Control Department

Conditionally Approved/Voorwaardelik Goedgekeur

PLAN NR

S2425-00068

AESTHETICS COMMITTEE:

BUILDING CTRL OFF:

APPROVING OFFICER:

DATE

Plans are valid for 12 months

Section 7(4) NBR

REVISIONS:

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the client's OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is issued it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part O. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunplas' ubi green dpm on 50mm sand blinding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gunder' 375 mic. dpc under all walls, window cills and at changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 ml of new floor level. ML is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE:

ADDITIONS AND ALTERATIONS ON ERF
924, SEA VISTA , ST. FRANCIS BAY FOR
Mr & Mrs Owen

CLIENT SIGNATURE

BLACKHOUND
ARCHITECTURE & RENDERING

hannes@blackhousedownterprises.com
072 799 5597 | 072 418 6867
https://blackhousedownterprises.com
Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth, 6070

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	924, Sea Vista
ERF AREA:	1221 sqm
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NEW BATHROOMS:	0
POOL:	EXISTING
BOUNDARY WALLS:	Existing M
AGE OF BUILDING:	6

PROFESSIONAL SENIOR
ARCHITECTURAL TECHNOLOGIST
JOHANNES STEPHANUS GOUWS
12 09 pm (Africa/Johannesburg) on 22 Oct 2024

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PROJECT NO.:

2024_Owen_

DRAWING NO.:

20241022_Owen_MP_09

DRAWN BY:

HG

PRINT DATE:

22 Oct 2024

REVISION NO.:

A1

SHEET NO.:

102

PAGE SIZE:

A1