



FANCOURT
MASTER HOMEOWNERS ASSOCIATION

Fancourt – Oaklands Guidelines:

**Architectural Design Guidelines
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1. Introduction

THIS DOCUMENT IS A GUIDE TO INFORM AND ASSIST THE PROFESSIONAL TEAM AND PURCHASERS REGARDING THE ELEMENTS OF THE ARCHITECTURAL STYLE FOR OAKLANDS.

Oaklands is in essence a Provencal style group of 'villages' which incorporate the following elements:

1. Houses that sit well in the landscape.
2. A village concept that creates a sense of community with lots of linked open space.
3. A sequence of public and private spaces.
4. No symmetry or formality – a natural evolution
5. Creation of a lifestyle.
6. Low maintenance, modern yet traditional.
7. Mountain views and lots of sunlight.
8. Lock up-and-go.
9. Retention of existing landscape integrity.
10. Designed around a built footprint of 150-200m² with loft, mezzanines or second floors to create verticality.
11. Double or single garages plus (subject to permission) one external golf cart parking area or one golf cart garage.
12. Two, three or four bedroom combinations.

A mixture of these elements will ensure a consistency of style, within the accommodation requirements of individual purchasers, so as to maintain the ethos of this Canton.

As the Oaklands development is largely completed except for a few erven, these design guidelines have been developed to exclude certain inappropriate forms, materials and colours and should therefore not be regarded as restrictive to individual expression. Where there is reference to 'to match existing' in these guidelines, this is a reference to the general style and features of this Canton as already established.

These guidelines are supplementary to the National Building Regulations (SANS) and local authority requirements.

Note: These guidelines are subject to periodical review. Amendments may only come into effect with the approval of the FMHA board.

2. Building Envelope

A building envelope, which determines the position of a building footprint on an erf must be created. This must take cognisance of views, privacy and the volume relationships between erven, and should ultimately achieve a stepped street façade and prevent the development of a line of houses.

2.1 General Guidelines

- 2.1.1 Stepped facades create a coherent and interesting theme rather than box forms.
- 2.1.2 Only one dwelling per erf will be allowed, the maximum coverage will be 55% of the area of the erf (or of combined erven if applicable).
- 2.1.3 Double storeys are permitted. The floor to ceiling heights, are currently 2.43m on the ground floor and 2.465m on the first floor. Open raked ceilings at a pitch of 22.5° are also permissible.

Note: ‘Coverage’ refers to the footprint of the built area, including garages, outbuildings, roofed terraces including adjustable aluminium louvre roofs. Courtyards and swimming pool areas enclosed by all sides of the house footprint will form part of the coverage. Terraces with pergolas over (open) are not included.

2.2 Building Lines

2.2.1 Street Boundary

- (1) 1m for the main building
- (2) 1m for garages facing away from the street
- (3) 1m for garages facing the street

2.2.2 Side/Common Boundary

- (1) 1m for the main building
- (2) 1m for garages
- (3) Simplex units have a common wall between units
- (4) Yard walls may be built on the boundary on a discretionary basis

2.2.3 Rear Boundary

- (1) 1m for the main building

2.2.4 Special Sites

Where the Town Planning Committee permits variations, these are due to specific site conditions which may prevail, and are not considered to be general or permanent amendments to the Design Guidelines.

Note: In order to maintain the green and tree-rich image of our Estate, building lines must be strictly adhered to and encroachments will only be considered in exceptional circumstances.

3. Built Form

3.1 Plan Shape

- 3.1.1 A built form of a single rectangular form or composite forms is permitted.
- 3.1.2 Secondary enclosed spaces are permitted provided they compliment major forms.

3.2 Height

- 3.2.1 The top of the concrete ground floor slab or surface bed shall not be lower than 340mm. (To be read in conjunction with the next sub-paragraph)
- 3.2.2 The maximum roof ridge height shall not exceed 8.5m measured from the mean height calculated from the highest and the lowest undisturbed and natural (not artificial) contours immediately adjoining the building (footprint of the house as defined in clause 2 – ‘Building envelope’). This calculation must be confirmed by the project architect and verified by a registered land surveyor and accompany the plan approval submission.
- 3.2.3 A site plan with contours and sections clearly indicating site levels and the roof ridge height above with the average calculation as described above, must be presented with the submission of building documents for approval. This must also be accompanied by 3-D illustrations showing a superimposed contour set illustrating compliance with the 8.5m height restriction. A datum level (i.e. permanent immovable reference beacon) must be indicated on the site plan submitted.
- 3.2.4 Buildings must have a bay width to match the existing houses to achieve the desired scale of building

3.3 Garages

- 3.3.4 The number of garages on a single erf is two, space permitting. Only on-site parking is allowed
- 3.3.5 A single width golf cart garage may additionally be permitted, however each submission will be evaluated on its own merit.

3.4 Privacy and overlooking

Care must be taken in house designs to achieve the maximum degree of privacy, given that houses are in close proximity to each other. Attention must be paid to privacy between one house and the next.

Designs must evaluate the position and placement of windows and doors of adjoining houses.
Screening is encouraged with the use of timber lattices and hedges.

4. Roofs

4.1 Primary roofs

- 4.1.1 Oaklands comprises of main double pitched bays and secondary roofs at 22.5° pitches.
- 4.1.2 Roof overhangs are 575mm wide with details to match the existing – see annexures

4.2 Secondary roofs

- 4.2.1 Flat tiled concrete balconies give access to view spaces from bedrooms but do not dominate the aggregate of pitched roofs and are seen as minor features.

4.3 Garage roofs

- 4.3.1 Can be covered in charcoal colour Zincalume sheeting at 3° pitch with waterproofed parapets.

4.4 Material and colour

- 4.4.1 Mazista Vineyard Antique Clay ‘no hole’ roofing system is used to match the existing. Colour combination for Antique Clay as follows:

Coppo Red	30%
Coppo Light Red	30%
Coppo Francia Light	25%
Coppo Pigeon	15%

4.5 Roof windows

No roof windows will be permitted

4.6 Golf cart carports:

- 4.6.1 Can be covered in charcoal colour Zincalume sheeting at 3° pitch with waterproofed parapets on all sides.
- 4.6.2 When the roof is not held with parapets, Mazista Vineyard Antique Clay ‘no hole’ roofing system must be used to match the existing. Colour combination for Antique Clay as follows:

Coppo Red	30%
Coppo Light Red	30%

Coppo Francia Light	25%
Coppo Pigeon	15%

5. Fascias, Gutters and Downpipes

- 5.1 Stained treated timber fascia detail to match the existing.
- 5.2 Dark brown 'Ogee' profile domestic gutters. (Seamless Aluminium) to strategic roof overhangs where shelter is required. Matching rectangular [75mm x 50mm] type downpipes – discreetly placed on walls to match the existing. Rainwater off roofs is distributed on site.
- 5.3 Tiled barges to match existing

a. Chimneys

- 6.1 Chimneys form an important detail of Oaklands and can be plastered or stone clad. See annexure for chimney details.
- 6.2 Chimney cappings are to be detailed for approval at time of initial submission.

b. Wall Materials and Finishes

7.1 Wall Construction

All walls of the main built form are to be 345mm thick stretched cavity wall construction.

7.2 Wall Finishes

Externally all walls are smooth plastered and painted in a textured paint such as Plascon Marocca or Midas Earthcoat Fresco paint, with appropriate plaster mouldings.

Colour to match the existing Oaklands colour range. Colour to be submitted for approval at time of initial submission. These will be considered within the site context. See annexure for permissible colour range

Paint colours of individual houses not to be the same as the direct neighbour in order to avoid uniformity and create a contrast.

7.3 Window and Door surrounds

Window and door surrounds are to match the existing – see annexures

7.4 Stone cladding

Stone cladding to be used on chimneys, garden and entrance walls is to match the existing type, colour and general size of the existing.

8. Windows

Note: To be aluminium, No PVC will be permitted.

8.1 Windows are to be matt, white epoxy powder coated aluminium to match the existing in every respect. See window & door annexure: 27.3.

8.2 Window / Door glass applications that will be allowed.

Sandblast / frosted window film: Installations other than bathroom / WC windows to be submitted for approval prior to installation.

No reflective mirror glass film will be allowed.

No decorative film / glass applications allowed.

Safety glass film in clear colour applications will be allowed.

Non reflective film / Window tinting / Solar Film: Colour and specifications to be submitted for approval prior to installation.

9. Doors

9.1 Entrance doors

Entrance doors are a feature in horizontal slatted hardwood finished with a Midas wood wash to match the existing. Metal studs as the existing finish this off.

9.2 Garage doors

Garage doors are single horizontal slatted hardwood finish with a Midas wood wash to match existing. Slats to be no smaller than 100mm and no larger than 120mm.

9.3 Doors

All other doors are to be matt, white epoxy powder coated aluminium to match the existing in every respect. No PVC will be permitted.

See window & door annexure: 27.3.

10. Pergolas, Awnings, Shutters, Balconies and Roofed Terraces

These are important elements of the style creating deep sheltered facades.

10.1 Pergolas

Pergolas are constructed of treated tapered poles and laths. These are supported on heavy brick piers. The frequency of timber members must match the existing.

10.2 Awnings

Awnings are to be the material/canvas retractable type fixed to the underside of pergolas, or the mechanical extendable type fixed to the wall above a pergola. Colour: To approval. No stand alone awnings will be permitted.

10.3 Shutters

Epoxy powder coated aluminium in palette colours to match existing. Shutters may be used on windows requiring privacy, sun control or as a feature. Shutters to a minimum of 30% of window applications. Preference to be given to street and neighbour facing facades.

10.4 Balconies

To be placed for maximum privacy and to form an integral part of the house design. Walls are used as protective barriers instead of handrails. Height must be in accordance with the National Building Regulations.

10.5 Roofed Terraces

To be placed for maximum privacy and to form an integral part of the house design. Height must be in accordance with the National Building Regulations. External tiling is in Quarryface Desertsand sandstone tiling to match existing.

11. Boundary Walls and Fences

11.1 Boundary Walls

900mm high stone clad feature walls are permitted in an appropriate site context. Stone type and colour to be submitted for approval. These will be considered within the site context.

11.2 Yard Walls

To be constructed with 230mm thick plastered and painted brick walls with a coping on top, design to be submitted for approval at time of initial submission.

To a maximum height of 2100mm above natural ground level.

Yards for concealing of washing lines, gas and refuse are to be kept to a minimum. This must not be a major feature.

11.3 Fences

As the village is in an open landscape the fencing of an erf is discouraged except in minor functional areas to keep pets in ('Bekaert' fencing). Where used these must be softened by the use of a planted hedge.

11.4 Gates

Timber gates in hardwood must match the existing and be finished with a Midas wood wash to match entrance and garage doors. Gates made from galvanized mild steel, stainless steel or aluminium may be permissible. This should be submitted for approval at time of initial submission. These will be considered within the site context.

Yard gates to match the colour of the garage door.

12. Braais, Handrails and Balustrades

12.1 Braais

Plastered and painted brick built or built-in Jetmaster type braais as an integral terrace structure will be permitted with chimneys as described elsewhere.

12.2 Handrails and Balustrades

Simple, functional and discreet balustrades and handrails are to be constructed from galvanized mild steel or stainless steel.

No glass balustrading will be permitted.

13. Swimming Pools

13.1 Swimming pools must have a minimum 1.5m setback from all boundaries.

- 13.2 Swimming pools must comply with Public Safety and National Building Regulations. A swimming pool fence is required and has to comply with National Building Regulations.
- 13.3 All pool pumps and filters to be screened appropriately from public areas or neighbouring properties and must be positioned so as not to be a nuisance to neighbours, whether visually or through noise. They shall have no greater than maximum noise emission of 45 decibels on a night time reading. Pumps may not be run from 22h00 to 07h00.
- 13.4 Backwash from pumps to discharge into the storm water system.

14. Driveways and Carports

14.1 Driveways

Driveways to be paved in brushed exposed aggregate concrete with facebrick bands to match the existing.

14.2 Carports

To be attached to brick pier structures on main building.
Pergola poles and timber laths may be used as a cover or alternatively roofed as garages with overhangs, fascias to match.

14.3 Site Parking

Adequate paved on-site parking is essential and should be fragmented and sensitively planted to prevent the effect of large scale hard standing.

Please note that inadequate availability of visitor parking will lead to refusal of approval.

15. Outbuildings

In some cases a garden structure like a gazebo is acceptable but must be of modest scale and match the main house in appearance.

16. Services

- 16.1 All sewer and waste pipes, electrical, air-conditioning etc. to be concealed in wall cavities or ducts within the wall plane. Vent stub stack pipes to be discreet.
- 16.2 Air conditioning condenser units must be concealed from view behind a screen or on a flat roof. They shall have no greater than maximum noise emission of 45 decibels on a night time reading.

- 16.3 Houses should be fitted with water saving shower faucets and double-flush toilet cisterns.
- 16.4 Drying yards and refuse bin areas must be of reasonable size and concealed behind 2.1m high screen walls as described elsewhere.
- 16.5 External lights in bronze brown / rusty colours will be allowed. All external lights or changes to external lights to be submitted for approval prior to instillation.

17. Landscaping / Garden features / Signage

- 17.1 The overall garden and landscape design has been carefully composed to provide continuity, privacy, effect and colour.
Landscaping should be done in plant species that match the existing. This is subject to FMHA approval.
Large lawned areas are to be avoided.

Garden features and paving to match existing.

Stone clad garden feature walls to match the existing.

Landscaping required by individual owners may be executed by specialist landscape contractors or by the owner subject to a maximum 3 months completion period after practical completion.

The use of indigenous plants is to be encouraged. Plants listed as invader species are not permitted.

A landscape design with plant list and specification of plant sizes must be submitted for prior approval.

Planted hedges to be maintained to the following heights:

1.8m for side boundaries,
1.5m to street boundaries.

- 17.2 Any garden feature, whether fixed or free standing that is visible from the street and / or golf course is subject to prior approval by the Town Planning Committee. There are to be no visible ornaments or decorations on or attached to boundary walls.
- 17.3 Each house must have a number. The number must be installed on the garage facade facing the street side. House number (to match existing house numbers as originally installed at all the houses).

Specifications: Mosaic Square with aluminium silver house number

No external signage will be permitted.

- 17.4 Any major changes to existing gardens will require a landscape design (with plant list and specification of plant and tree sizes) to be submitted to the FMHA for approval, i.e. total garden revamp, planting of trees, hedges, etc, or changes to a garden that will materially affect a neighbour.

The position and size (both current and forecast at maturity) of trees to be submitted to the FMHA for approval. Size must be appropriate to location.

18. Lightning Conductors

The only approved system is the installation of copper bars on the ridge with earthing connectors installed in a very discreet manner and also not to cause any damage to the roof and ridging. High masts are not allowed.

19. Solar Heating or Electricity Panels

The extent and position of solar panels must be approved. Solar heating or electricity panels should be concealed from view behind parapet walls of flat roofs. Solar heating or electricity panels on the tiled pitched roofs will be considered and should be integrated into the plane/pitch of the roof.

20. Burglar Alarms

Only silent burglar alarms may be installed on the Estate.

21. Burglar Bars and Security Gates

The use of 'Trellidor' Clear Guard doors and windows or similar approved is only permitted on condition that:

- 21.1 They are installed on the inside of the existing doors and windows.
- 21.2 Their frames are concealed from view behind the existing door and window frames.
- 21.3 They will consist of a mesh solid screen without mullions or transoms.
- 21.4 The colour of the frame will match that of the existing doors and windows.
- 21.5 The colour of the mesh screen will be charcoal only.

22. Generators

- 22.1 A generator should be housed in a brick/concrete roofed, ventilated structure, appropriate insulation against noise emission and screened appropriately from public areas or neighbouring properties and must be positioned so as not to be a nuisance to neighbours, whether visually or through noise.

This should be submitted for approval at time of initial submission.

- 22.2 The maximum noise level at 1m distance from the exterior of the generator housing should not exceed 45 decibels on a night time reading.
- 22.3 A generator should only operate during power outages. Notwithstanding this, the generator should not operate between the hours of 22h00 and 07h00.
- 22.4 Fuel storage as per the Local Authority regulations.
- 22.5 An electrical compliance certificate must be obtained after installation.
- 22.6 UPS (Uninterrupted Power Supply) installation should be encouraged in lieu of generators. A UPS can be designed to virtually any size, with a battery back-up for as many as 24 hours depending on usage.

23. Satellite/ TV Dishes

The position of satellite dishes must be approved by Fancourt before installation. Visibility from public or neighbour areas will play an important role in the decision making and the painting of the dish the same the same colour as the surrounding walls or roof is a requirement.

24. Rainwater Harvesting

- 24.1 The tank must be either located below ground or concealed appropriately from public areas or neighbouring properties, behind a stone clad screen wall or landscaping.
- 24.2 Underground water tanks to have a minimum 1m setback from all boundaries.
- 24.3 Water pumps must be positioned so as not to be a nuisance to neighbours either visually or by noise. They shall have no greater than maximum noise emission of 45 decibels on a night time reading. Pumps may not be run from 22h00 to 07h00.

25. Approvals

- 25.1 All house designs are to be presented for approval by the Town Planning Committee, a sub-committee appointed by the FMHA Board. The interpretation and approval of the drawings remain the right of the Town Planning Committee and will be adjudicated on merit. The project architect shall certify with the submission that to the best of his/her belief, the submitted plans comply with these guidelines, including as to the coverage requirements, the site area of the erf and the proposed site coverage calculation in accordance with the above.

Neighbours on adjoining and directly opposite (across the road) properties and any other properties appearing to the Town Planning Committee to be directly affected will also be considered in the process and will be given notice of the application. Plans will be forwarded for comments, allowing a two week period for neighbour responses before submission for consideration by the Town Planning Committee.

Neighbour comments are taken into consideration when reviewing plan applications and we encourage Members to comment on plans presented to them. The details of the individual giving commentary will be held in confidence.

Neighbours are encouraged to engage with each other before making an application.

Building work may only commence once the FMHA and George Municipality have approved the plans.

Plan approvals by the Town Planning Committee is valid for one year.

- 25.2 It is important that there be a consistency of architectural style and building materials throughout the development in order to create an unobtrusive environment integrated harmoniously into the Oaklands landscape. It is for this reason that certain styles, materials, colours and various building elements have been excluded from the development.

The use of alternative building materials will be investigated by the Town Planning Committee on request and with the approval of the FMHA Board. All materials investigated must, however, have a successful track record of more than five years in the South African environment. The FMHA does not wish to become pioneers for the testing of new materials and thereby compromise the aesthetics of the Estate. The use of any such materials is subject to prior approval by the FMHA board.

- 25.3 No person shall develop any vacant property on the Estate nor extend or alter the exterior of any building thereon or erect/install any recreational, garden or other special structures/features without the prior written

approval of the Fancourt Master Homeowners' Association (FMHA). Par 4 (Specific Rules) of the FMHA House Rules refers.

26. Construction Period

- 26.1 Commencement of works and the construction of the dwelling to start within the period stipulated by the Sales Agreement, by failing to start construction within the period, a penalty may be charged.

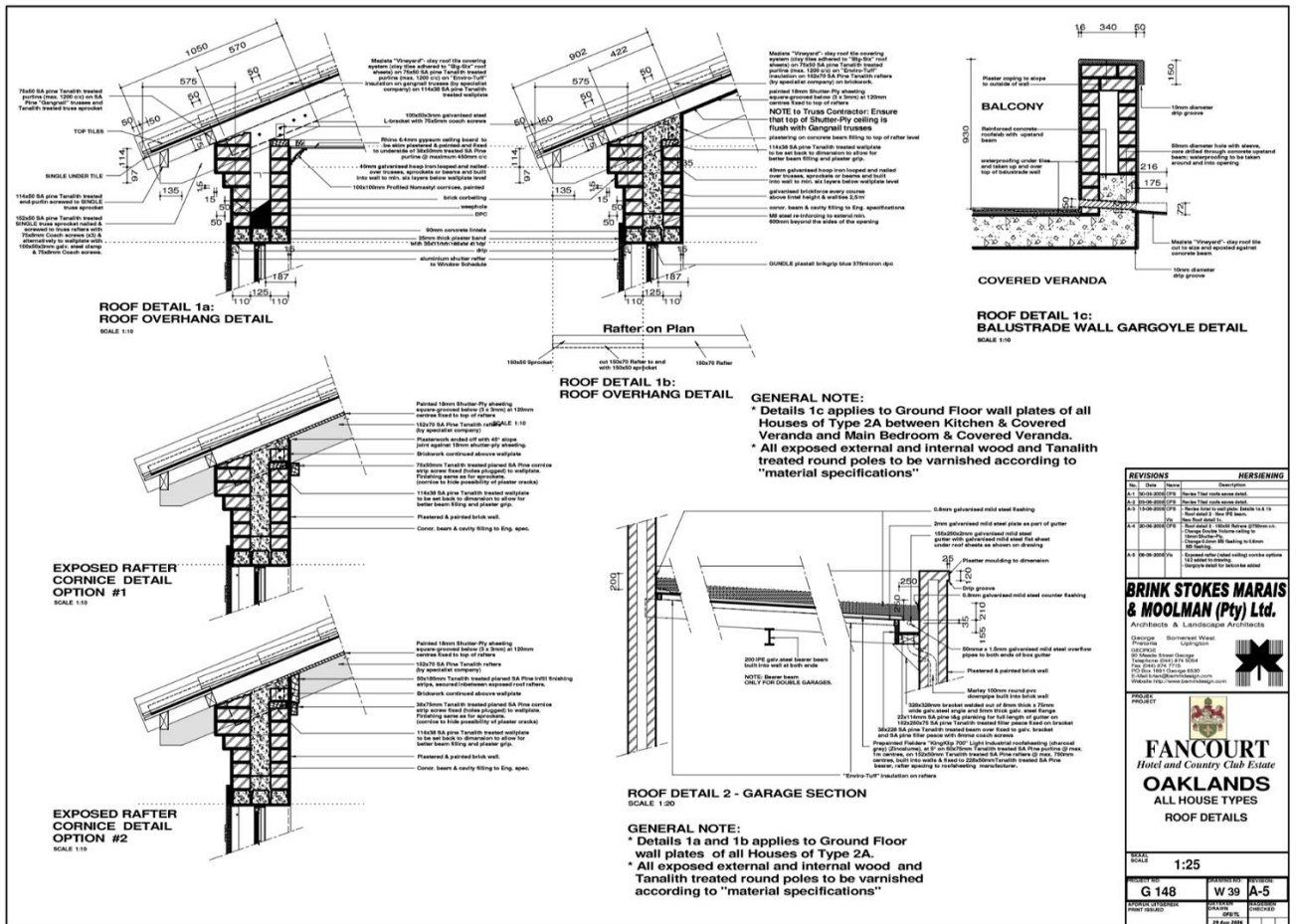
Construction of new houses shall proceed without lengthy interruptions, and shall be completed within 12 (twelve) months, followed by additional 3 (three) months for landscaping. Any owner failing to comply with such time limit shall become liable to pay a penalty in such sum as the finance committee may decide from time to time, unless an extension of time is granted by the Town Planning Committee due to valid reasons.

- 26.2 Major alterations shall proceed without lengthy interruptions, and shall be completed within 6 (six) months of commencement thereof.
- 26.3 Minor alterations shall proceed without lengthy interruptions, and shall be completed within 6 (six) months of commencement thereof.

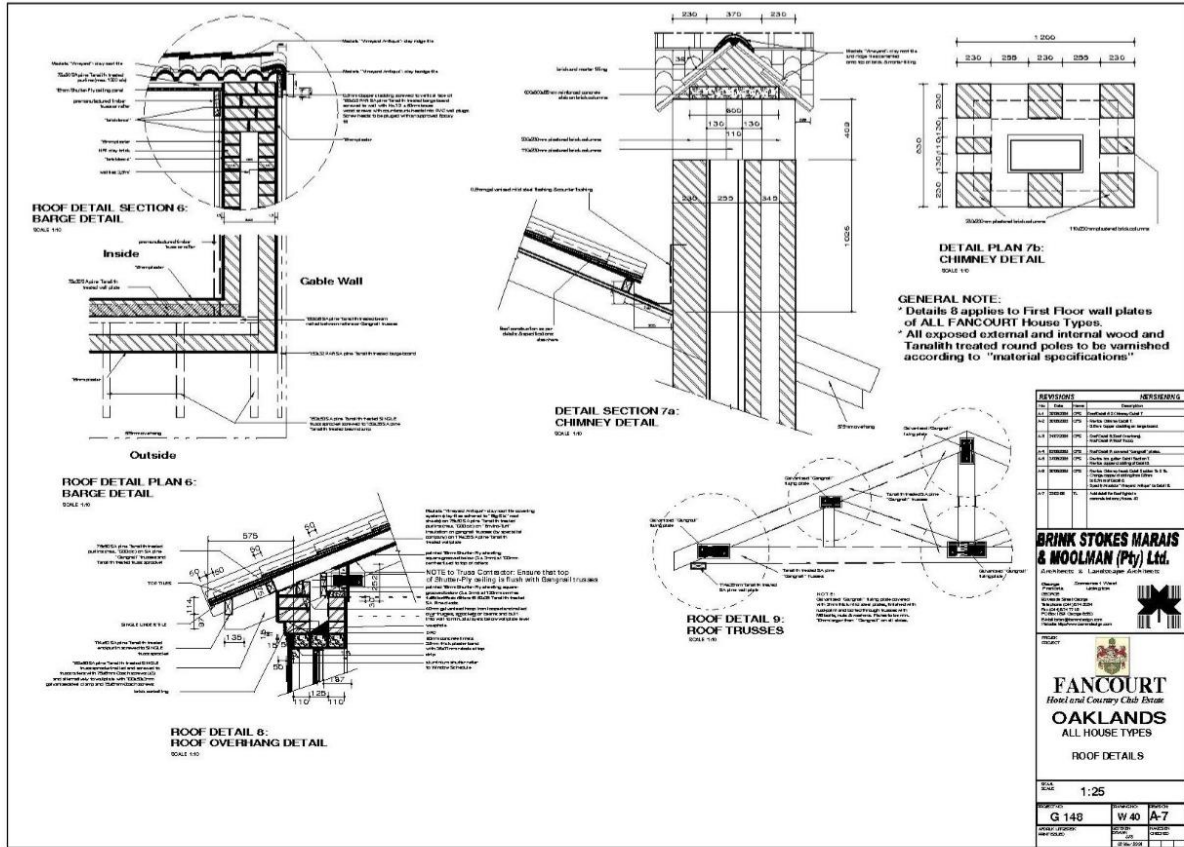
27. Annexures

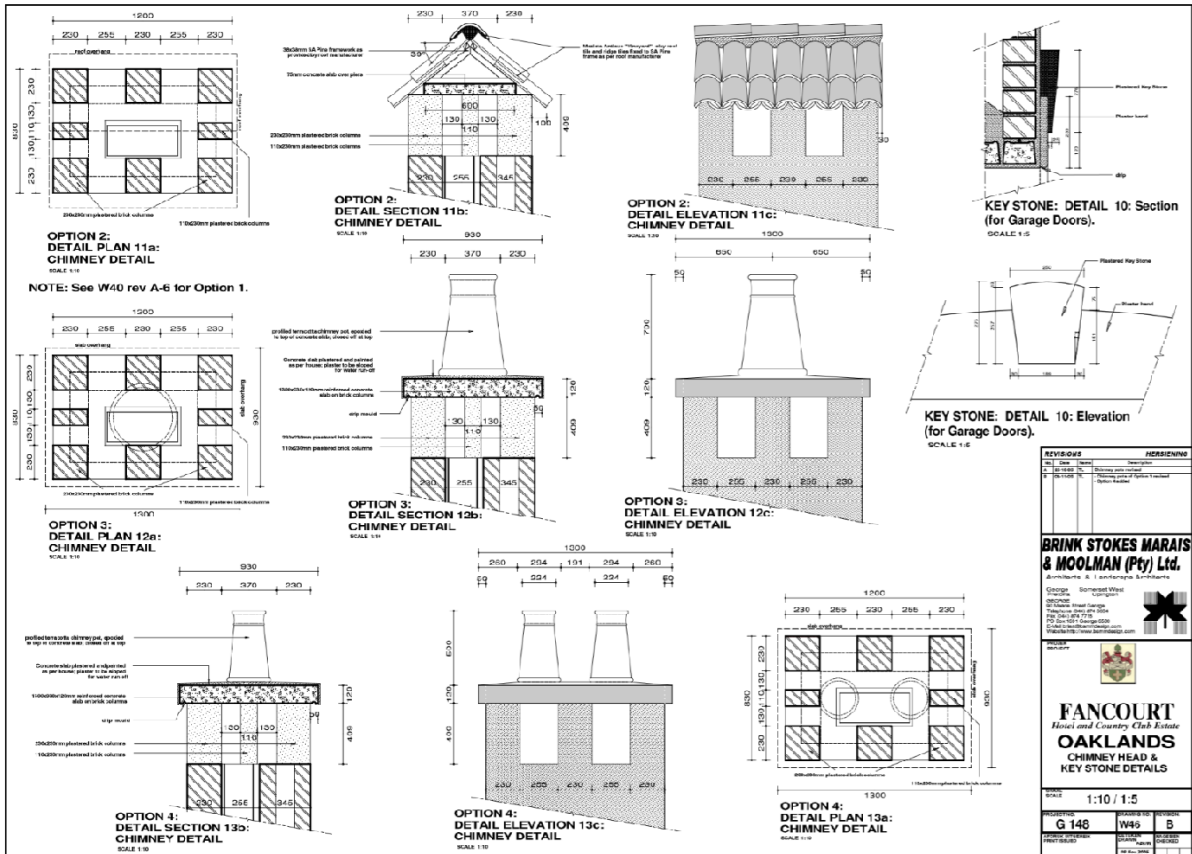
- 27.1 Typical data sheets
- 27.2 Colour palettes.
- 27.3 Examples of existing Windows and Doors.

27.1



ROOFS





EXTERIOR COLOUR PALETTE

OAKLANDS

1. WALLS EXTERNAL – Coarse aggregate primer & coat fresco stippled

1.1 Colours – walls:

SAMPLE NR	COLOUR
1	Moses Rock
2	Shabby
3	
4	
5	
6	Wet Cement
7	Anthracite

1.2 Window surrounds:

1 Coat Bonding slurry and 2 coats sand paint
25% and 50% of 1 – 7 above

2. SHUTTERS – Aluminium epoxy powder coated – matt

- 2.1 Belvedere Blue
- 2.2 Ten Green bottles
- 2.3 Milky Way
- 2.4 Lekker white

3. COLOUR COMBINATION PALETTE

	WALLS	SURROUNDS
A	2 of 25%	1
B	1	2 of 25%
C	7	7 of 25%
D	7 of 25%	7
E	1	1 of 25%
F	1 of 25%	1
G	6	6 of 25%
H	6 of 25%	6

4. MERANTI FRONT DOORS, GATES, GARAGE DOORS, VERANDA GEYSER DOOR

Midas: X: Grumper green wood wash
Y: Bleach wash table wood wash

27.3 Annexure of existing Windows and Doors:

a.) Examples of existing windows allowed:



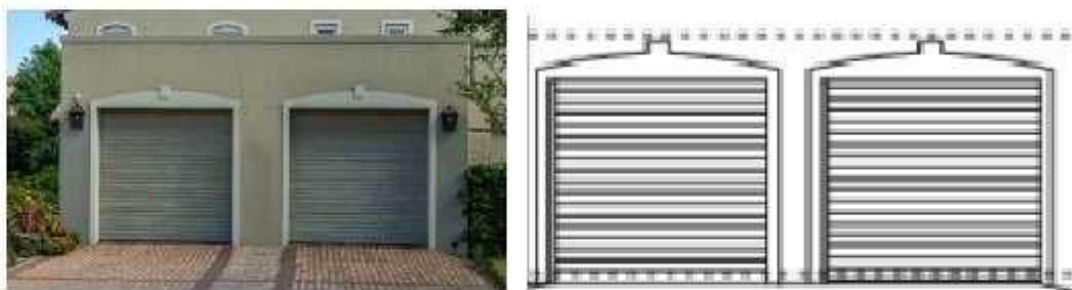
b.) Example of corner window not allowed:



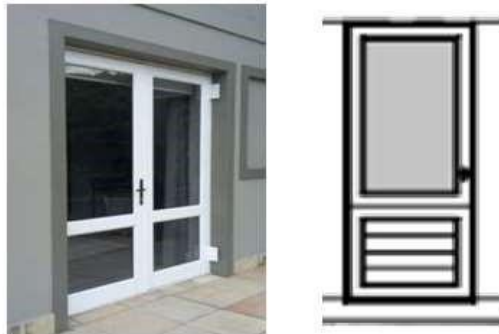
c.) Examples of entrance door allowed:



d.) Example of garage doors allowed:



e.) Examples of doors allowed:



f.) Examples of doors not allowed:



g.) Example of frameless folding sliding doors allowed:



h.) Examples of framed folding sliding doors allowed:

