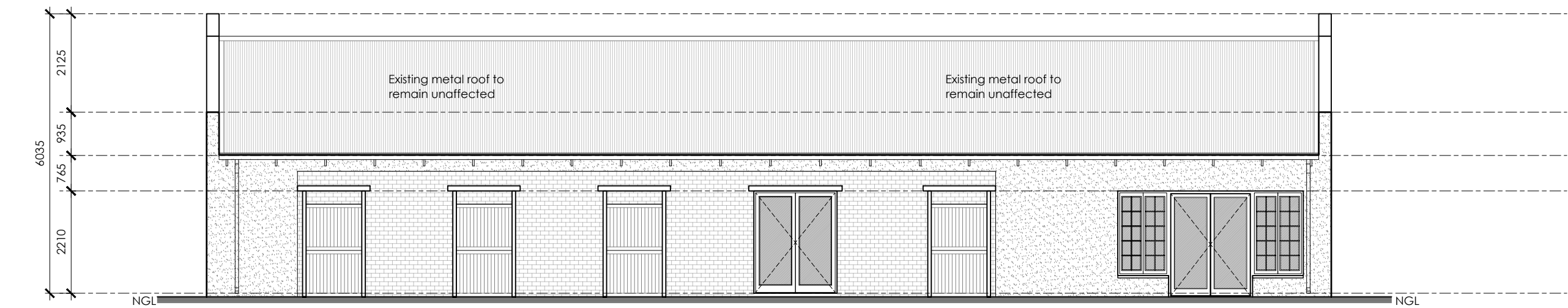
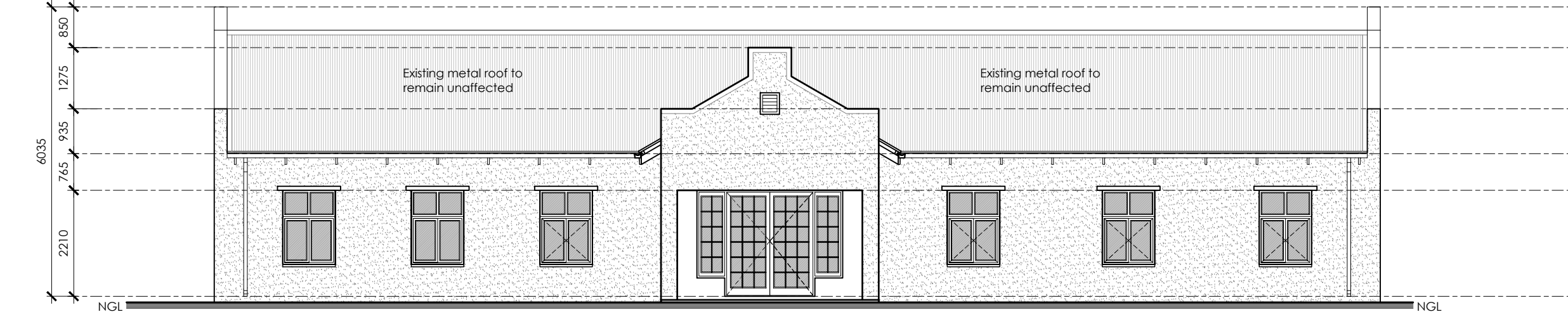


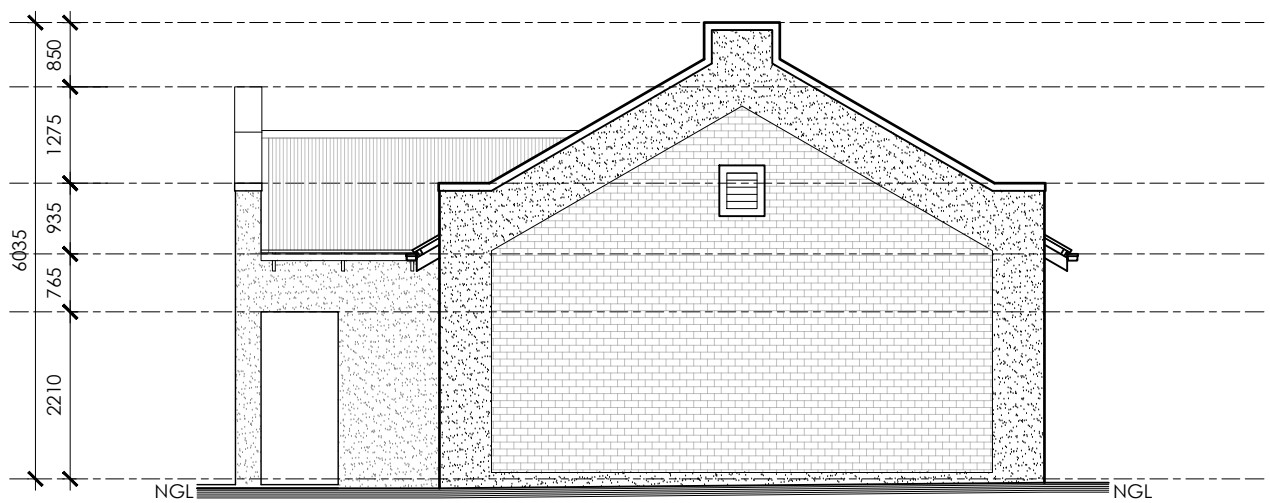
AMENDED PLAN NO.: 366541



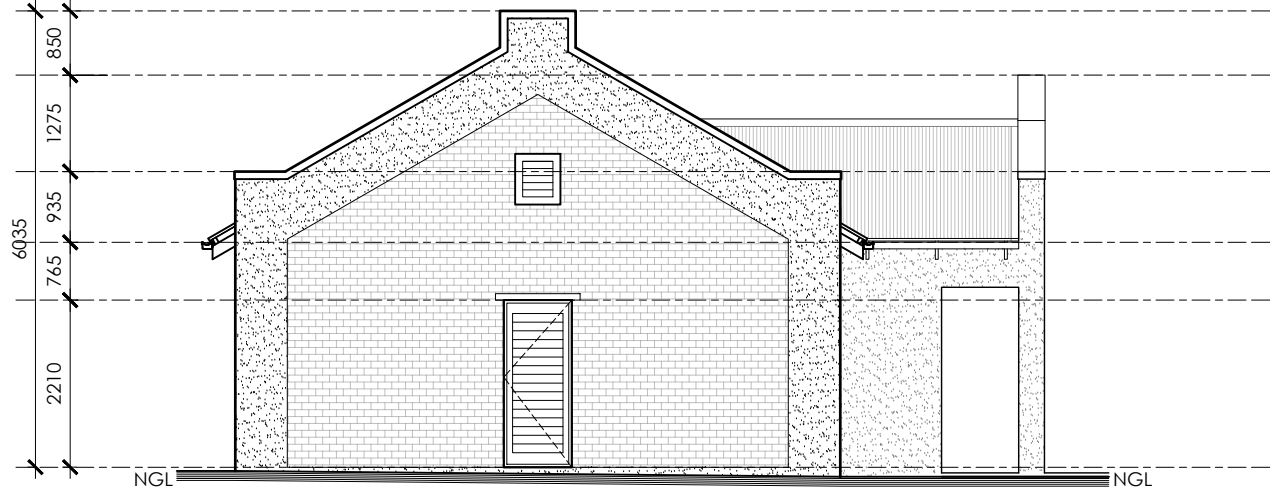
NORTH ELEVATION / EX. FARM STALL
SCALE 1:100



SOUTH ELEVATION / EX. FARM STALL
SCALE 1:100



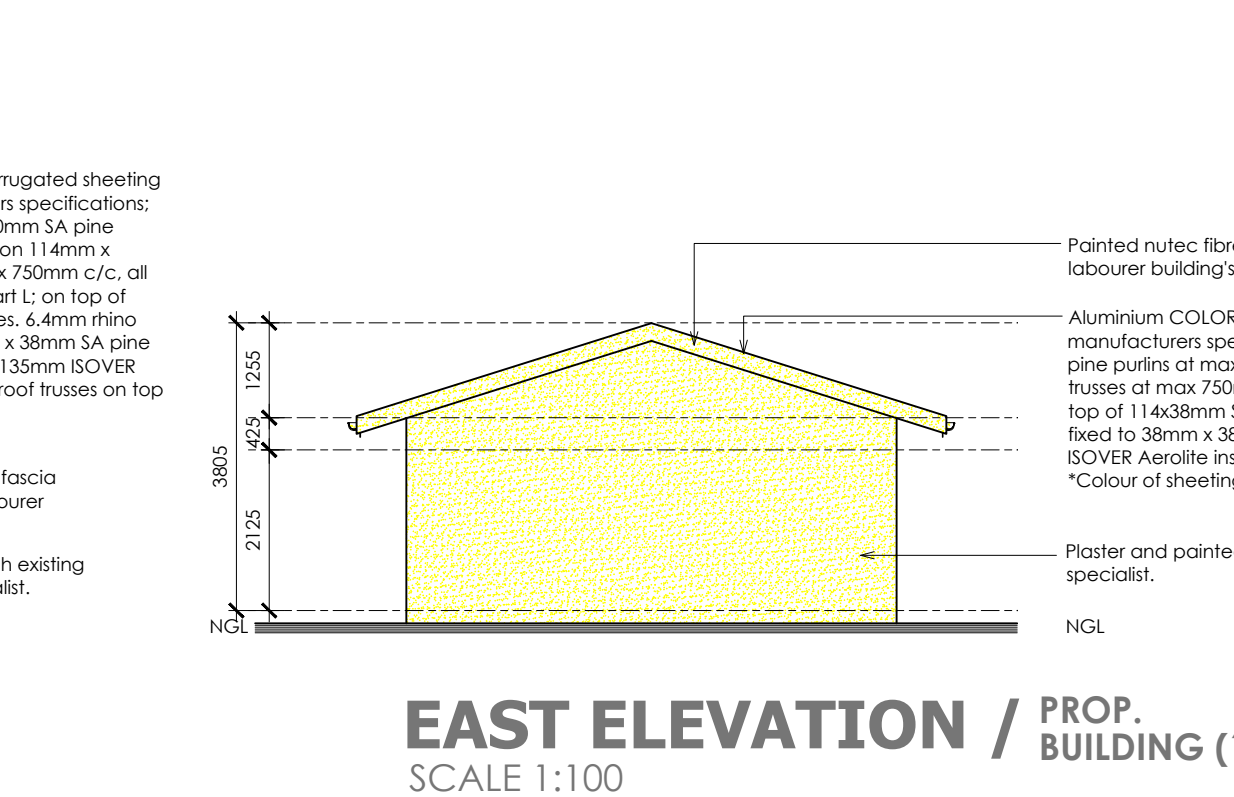
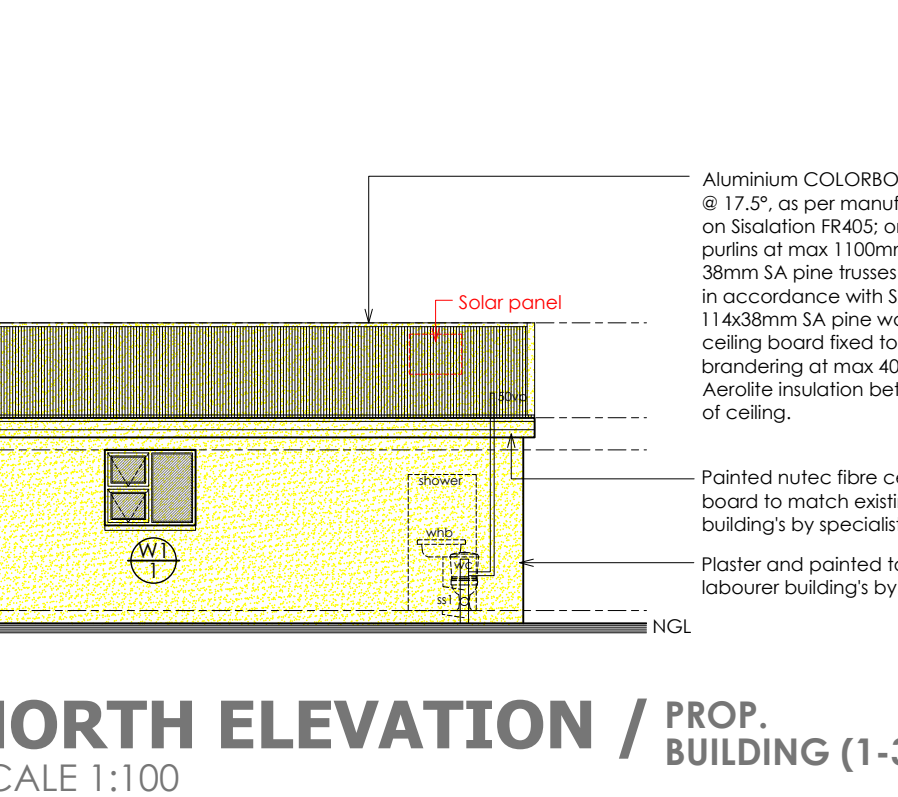
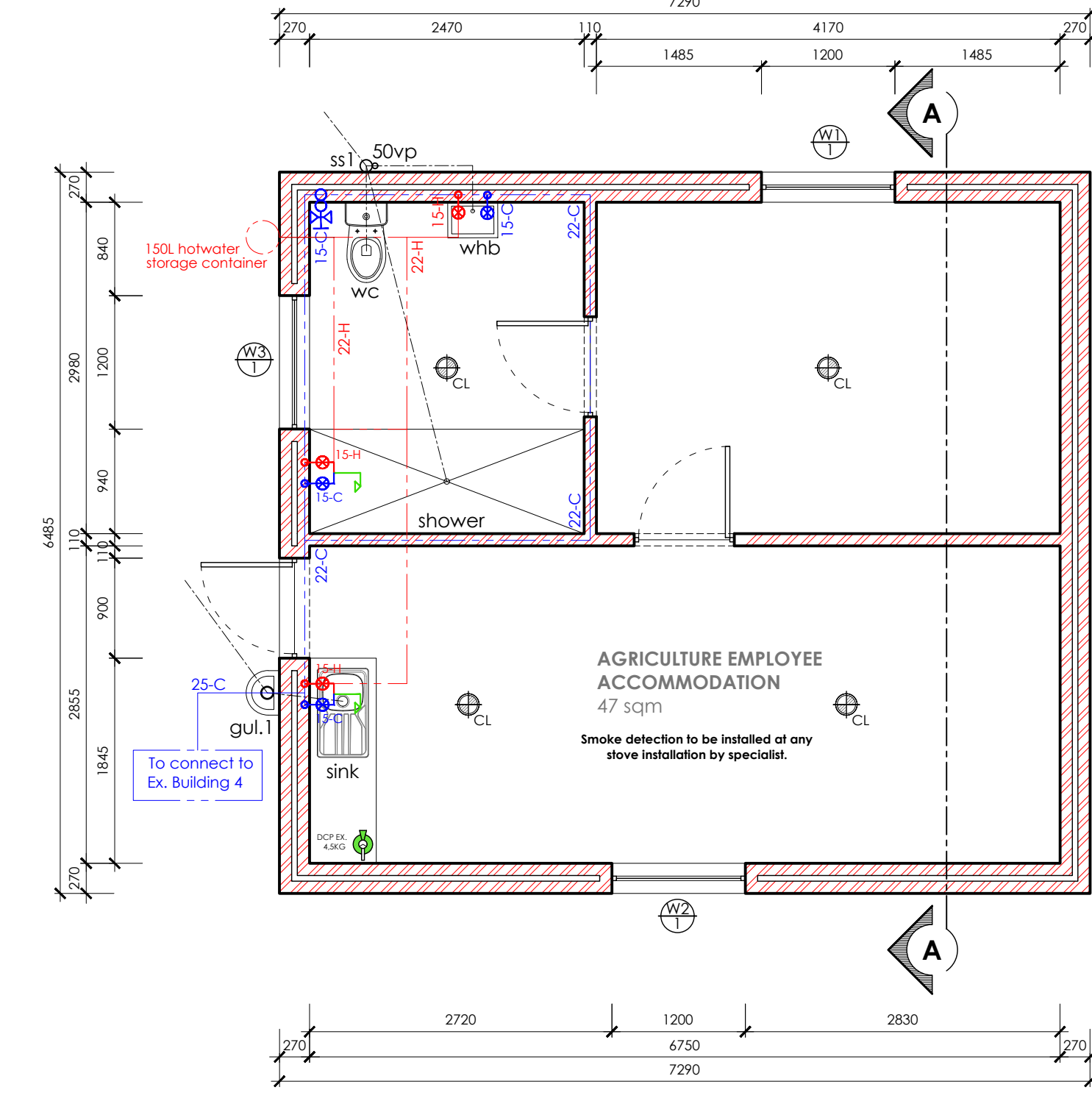
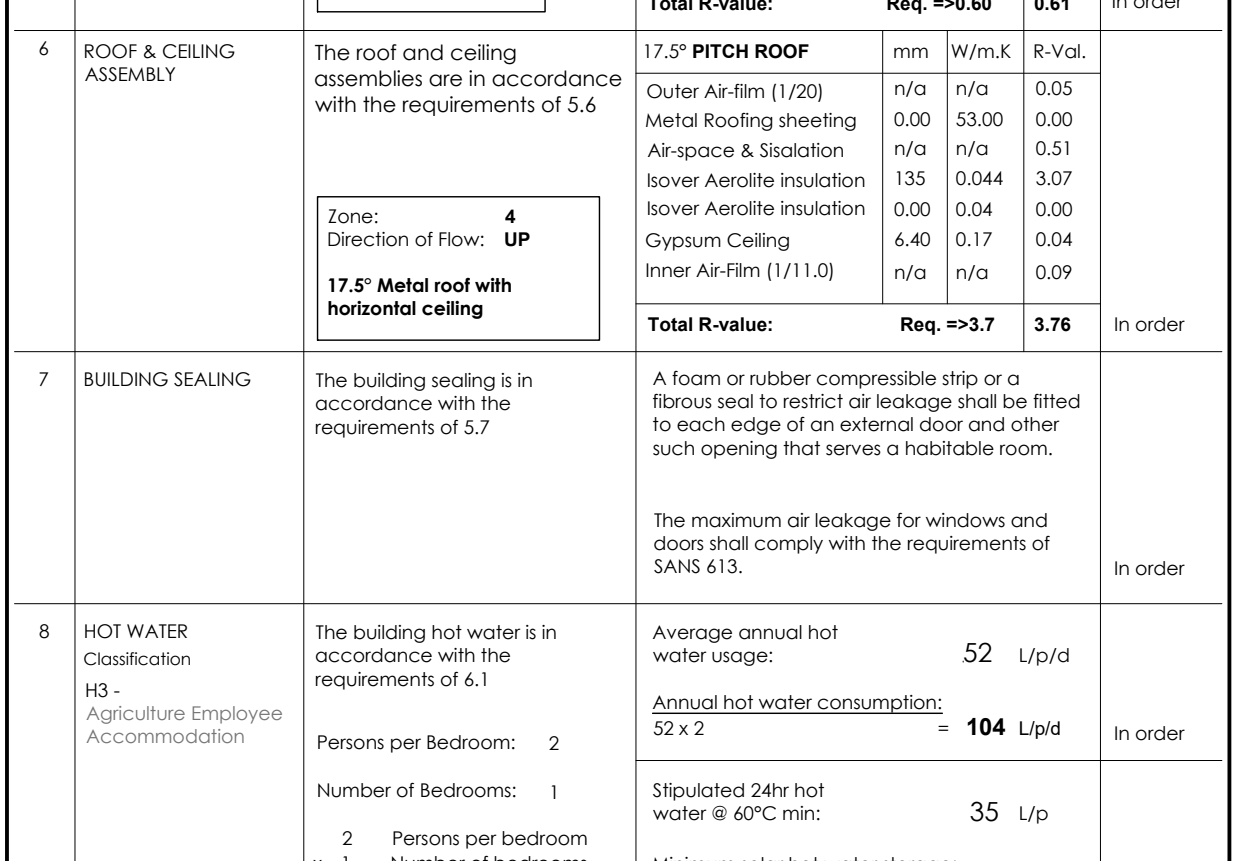
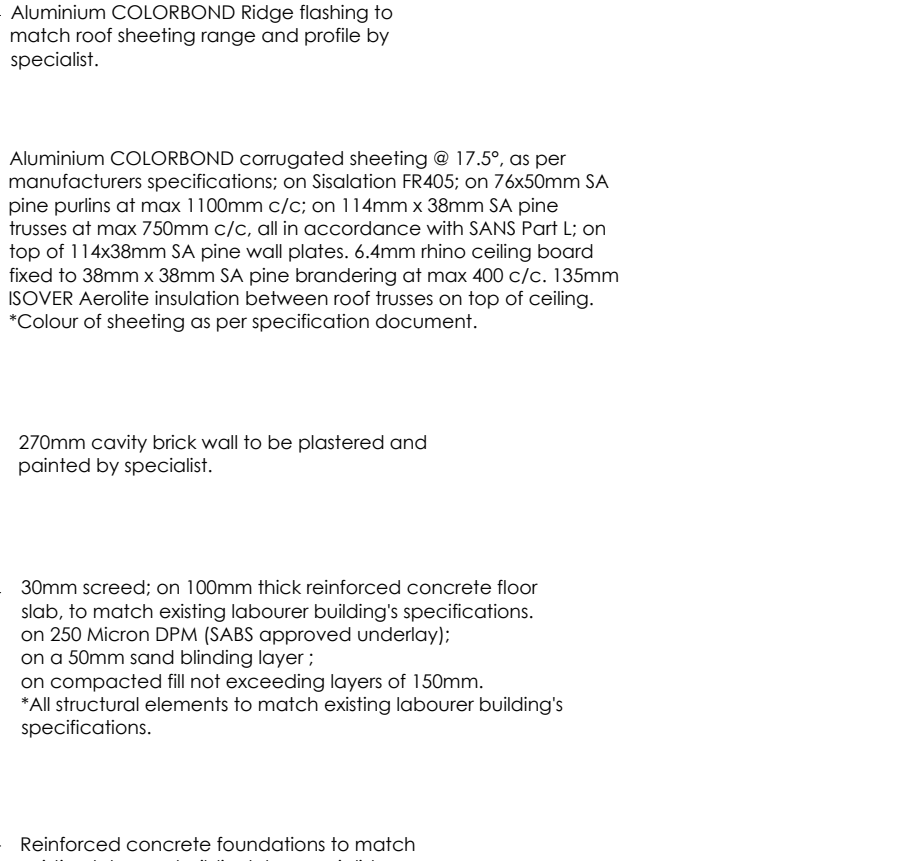
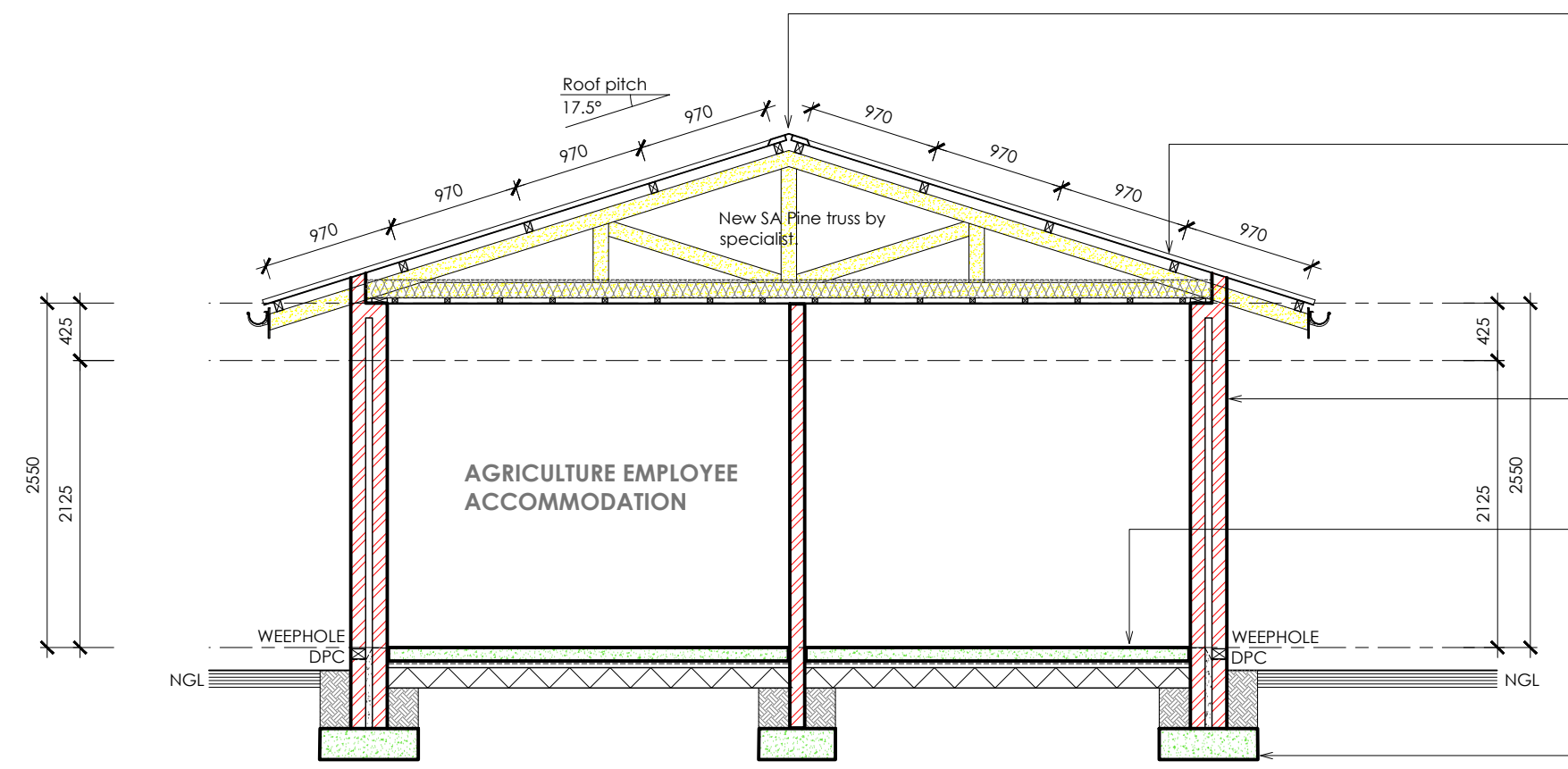
EAST ELEVATION / EX. FARM STALL
SCALE 1:100



WEST ELEVATION / EX. FARM STALL
SCALE 1:100

FENESTRATION CALCULATIONS - PROPOSED BUILDING (1-3)											
Tag	Frame-Glazing	Width	Height	A	P-Value	G	O	M-Value	Min. P	U-Value	SHGC (Cur.)
W1/1	HINGED WID: 6.38mm Clear (Single)	1200.00	1000.00	1.20	600.00	500.00	N	0.54	810	Any Solution	5.93
W2/1	HINGED WID: 6.38mm Clear (Single)	1200.00	1000.00	1.20	600.00	500.00	S	0.54	810	Any Solution	5.93
W3/1	HINGED WID: 6.38mm Clear (Single)	1200.00	1000.00	1.20	600.00	500.00	W	0.54	810	Any Solution	5.93
Summary											
City/Town	Latitude	Zone	Nett Floor Area	Fenestration Area		Glazing %					
Port Elizabeth	33.962	4	47	3.60		7.66					

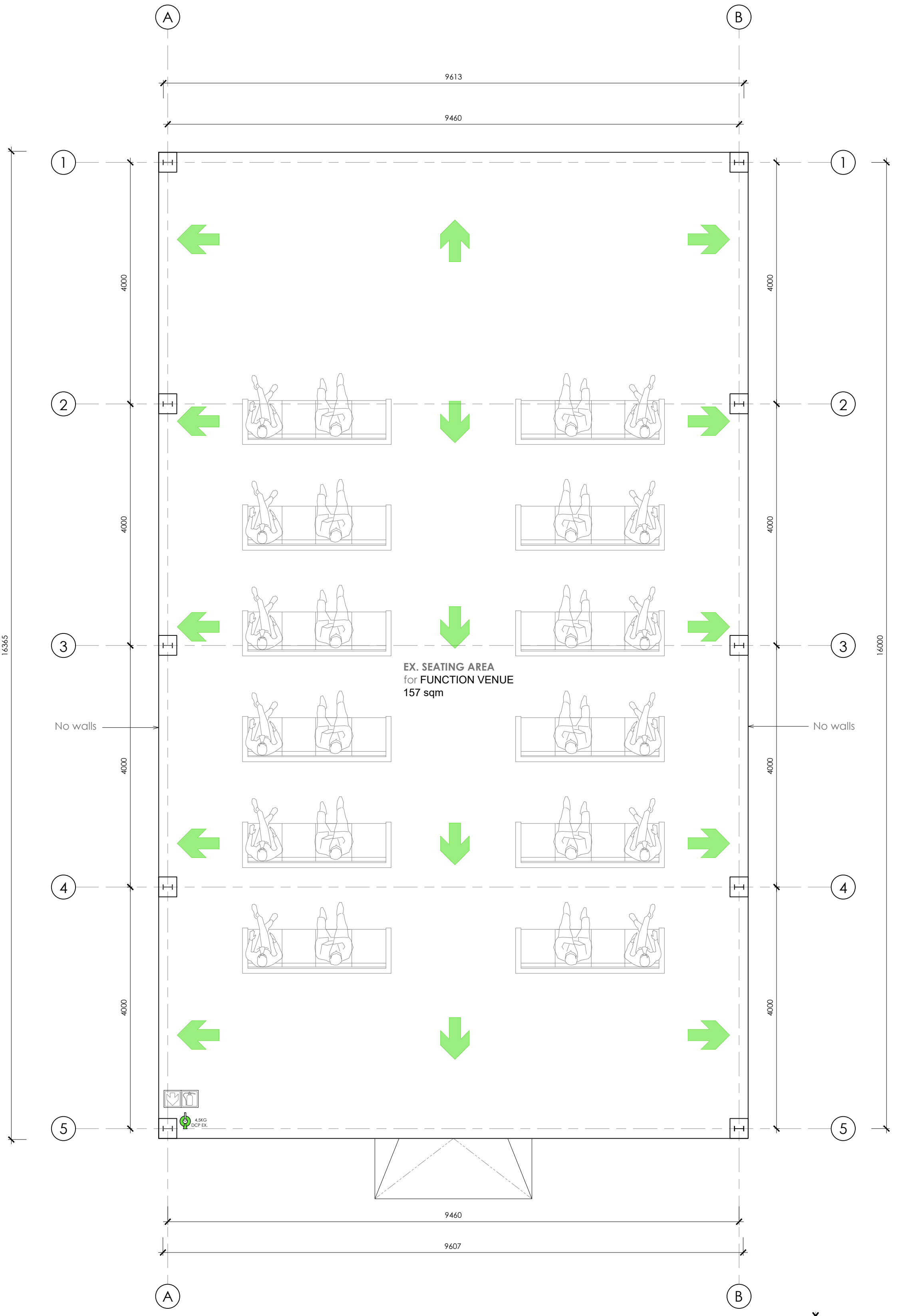
APPLICATION OF SANS 10400-XA (Ed.2)			
ZONE 4 - CLASSIFICATION H3 / Domestic Residences			
	REQUIREMENTS	ACTUAL	STATUS
1 DESIGN	The orientation is in accordance with the requirements of 5.1	Building facing North/South with longer axis orientated East/West	In order
2 SHADING	The shading is in accordance with the requirements of 5.2	See Fenestration calculations	In order
3 FENESTRATIONS	The fenestration is in accordance with the requirements of 5.3	See Fenestration calculations	In order
4 FLOOR INSULATION for under floor heating	The floor is in accordance with the requirements of 5.4	Under slab (Heated): mm W/m.K R-Value Lambolboard 000 0.024 0.00 Total R-value: Req. >=1.0 0.00 N/A Suspended Floor (Exposed): mm W/m.K R-Value Lambolboard 000 0.024 0.00 Total R-value: Req. >=1.0 0.00 N/A	
5 EXTERNAL WALLS	The external walls are in accordance with the requirements of 5.5 (Table 6)	External wall: mm W/m.K R-Value Outer Air-film (1/20) 0.10 0.05 0.02 15mm plaster 0.10 0.02 0.13 46-spaces 0.00 0.00 0.15 Cavity (Lambolboard) 0.00 0.024 0.00 15mm brick 0.10 0.02 0.13 15mm plaster 0.10 0.02 0.13 Inner Air-film (1/1.6) 0.00 0.00 0.00 Total R-value: Req. >=1.0 0.00 In order	
6 ROOF & CEILING ASSEMBLY	The roof and ceiling assemblies are in accordance with the requirements of 5.6	12.5% PITCH ROOF mm W/m.K R-Value Outer Air-film (1/20) 0.10 0.05 0.02 Metal Roofing sheeting 0.00 0.00 0.00 Air-space & insulation 0.00 0.00 0.00 Sover Aerogel insulation 0.00 0.04 0.00 Copper Ceiling 4.40 0.17 0.04 Inner Air-film (1/1.6) 0.00 0.00 0.00 Total R-value: Req. >=1.7 1.76 In order	
7 BUILDING SEALING	The building sealing is in accordance with the requirements of 5.7	A foam or rubber compressible strip or a flange and to restrict air leakage shall be fitted to each edge of an external door and other such opening that serves a habitable room. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.	In order
8 HOT WATER Classification H3 - Agriculture Employee Accommodation	The building hot water is in accordance with the requirements of 6.1 Persons per bedroom: 2 Number of Bedrooms: 1 2 Persons per bedroom 1. Number of bedrooms 2 Occupancy	Average annual hot water usage: 52 Up/d Annual hot water consumption: 104 Up/d Spiked 24hr hot water @ 40°C min: 35 Up Minimum single hot water storage: (337L) 3 x 2 ~ 105 Up Closed cell elastomeric thermal insulation mm W/m.K R-Value 38 0.036 1.06 Total R-value: Req. 1.0 1.06 In order	
9 LIGHTING Classification H4	The building lighting is in accordance with the requirements of 6.2	LED & CFL deemed to comply with Table 12 for H3 & H4	In order



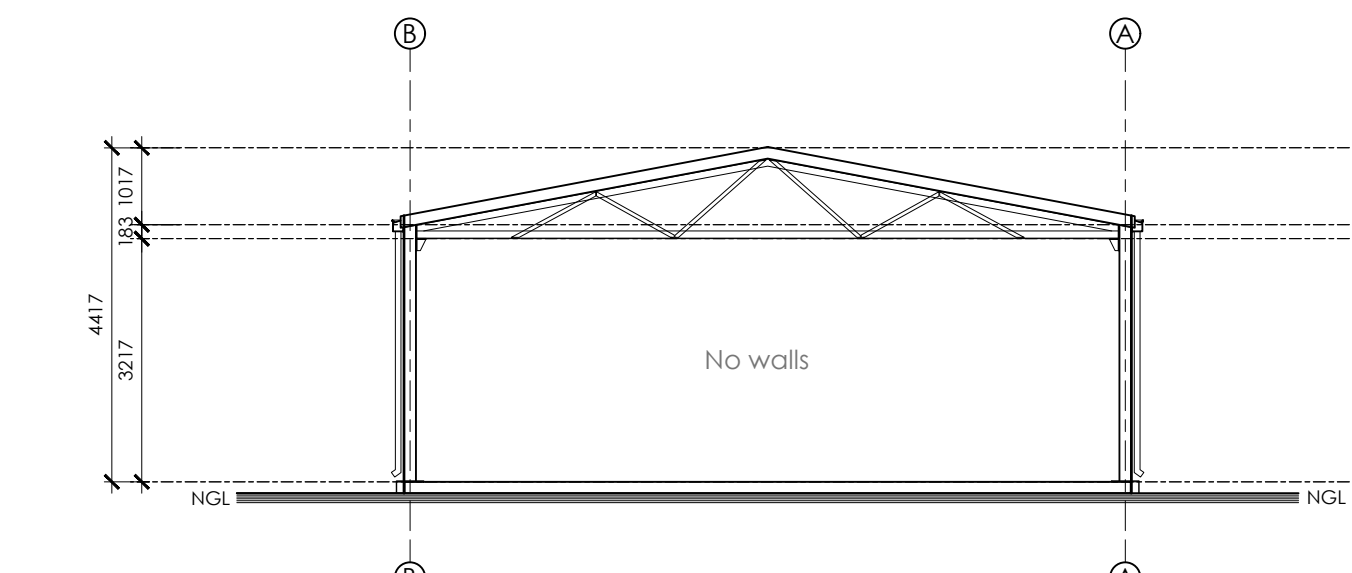
FLOOR PLAN / PROPOSED BUILDING (1-3)
SCALE 1:50

NORTH ELEVATION / PROPOSED BUILDING (1-3)
SCALE 1:100

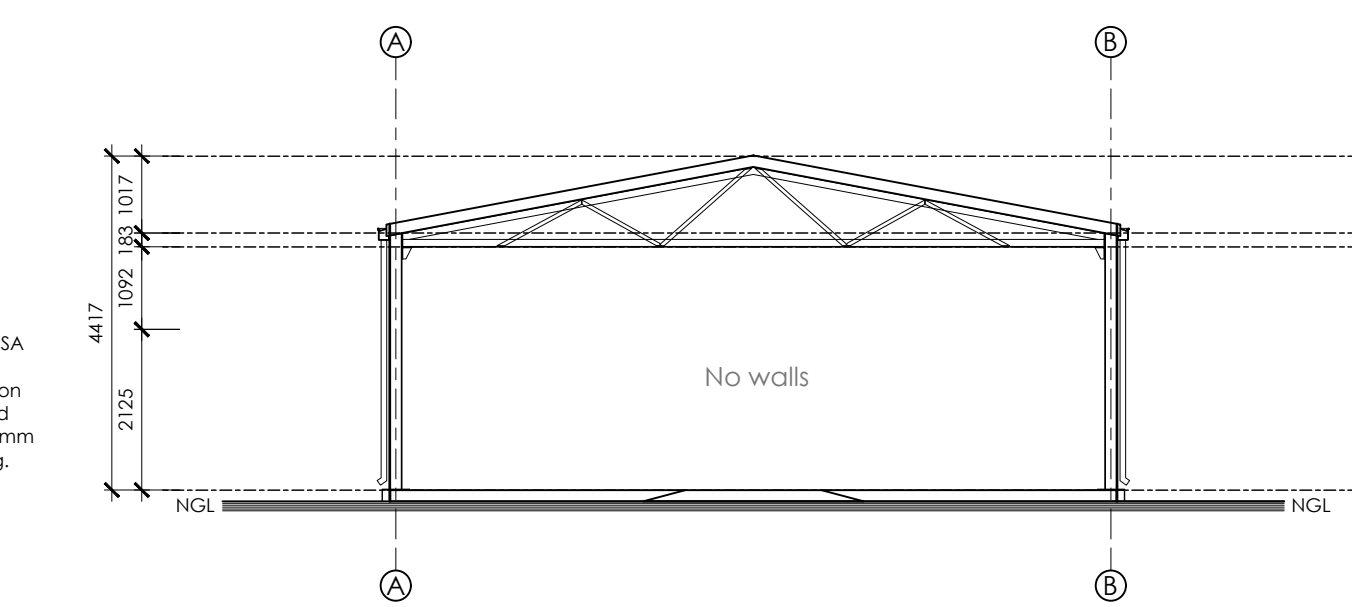
EAST ELEVATION / PROPOSED BUILDING (1-3)
SCALE 1:100



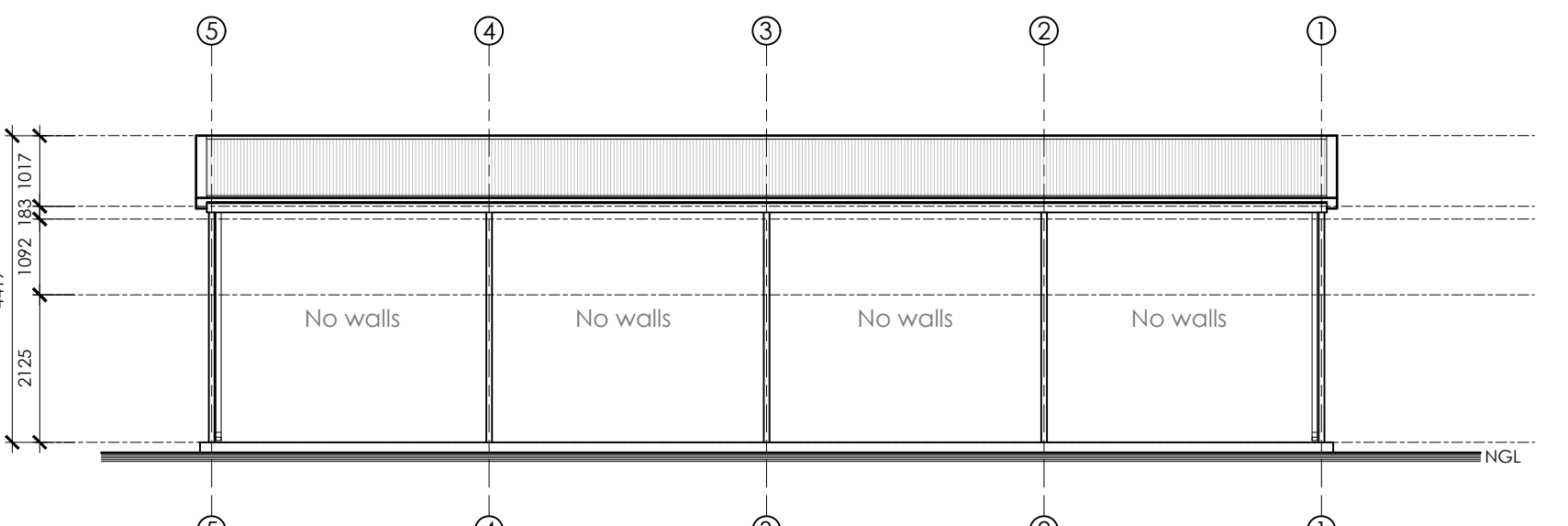
FLOOR PLAN / EX. BUILDING (8)
SCALE 1:50



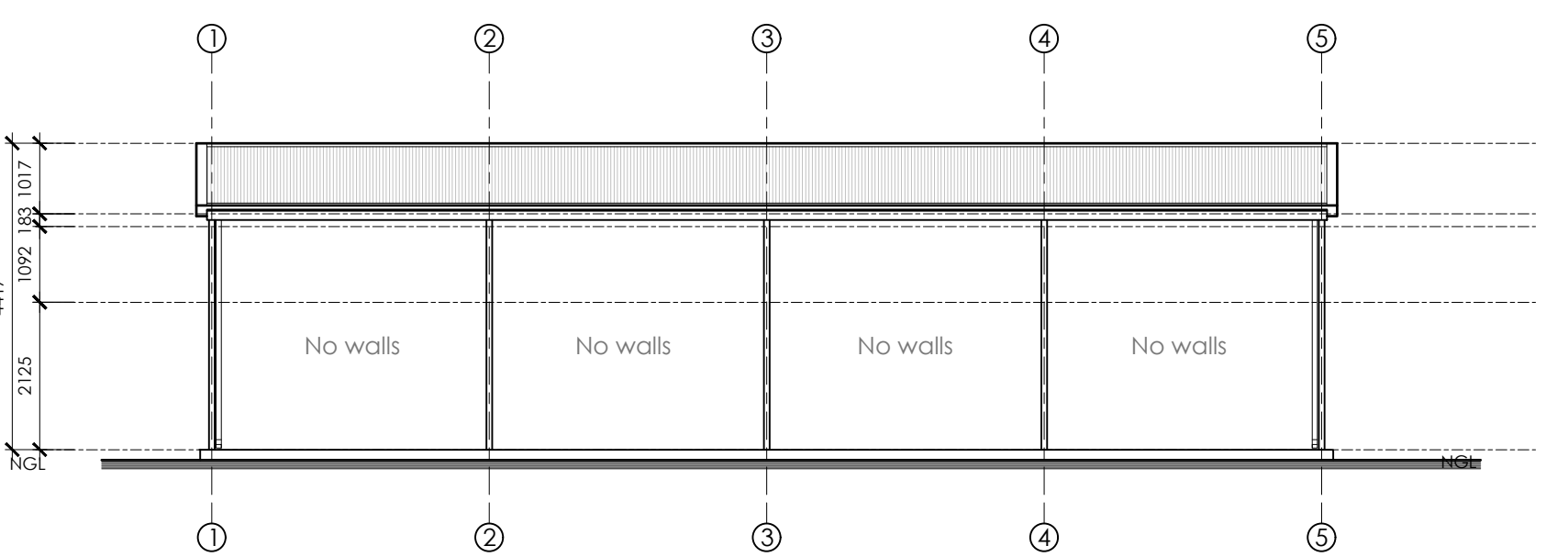
NORTH ELEVATION / EX. BUILDING (8)
SCALE 1:100



SOUTH ELEVATION / EX. BUILDING (8)
SCALE 1:100



EAST ELEVATION / EX. BUILDING (8)
SCALE 1:100



WEST ELEVATION / EX. BUILDING (8)
SCALE 1:100

MUNICIPAL INFORMATION:		ELECTRICAL LEGEND	
ERF No.:	29025 sgpm	Single wall mounted light switch to be mounted at 1300mm above sill	
Existing ERF Area:	925 sgpm	Double wall mounted light switch to be mounted at 1300mm above sill	
Existing Floor Area:	141 sgpm	3-way wall mounted light switch to be mounted at 1300mm above sill	
Total Floor Area:	1066 sgpm	Waterproof wall mounted light switch to be mounted at 1300mm above sill	
Ex. Coverage:	925 sgpm - 3.19%	Dimmer wall mounted light switch to be mounted at 1300mm above sill	
Prop. Coverage:	141 sgpm - 0.49%	Double wall mounted plug, top of socket to be 1300mm above sill	
Total Coverage:	1066 sgpm - 4%	Double wall mounted plug, top of socket to be 1300mm above sill	
NEW GARAGES:	0	Extractor connector plug @ 2100mm	
NEW BATHROOMS:	0	Blank connecting boxes	
TOWN PLANNING INFO.		Periscope plug as per specification	
Zoning:	(Permitted) Agriculture Zone 1	Garage door ceiling mounted motor	
Height Restriction:	8.5M / 15M	TV point aerial	
Building Line Front:	10.000mm	Shower plug	
Building Line Sides:	10.000mm	Alarm panel	
Building Line Rear:	10.000mm	Network panel	
Ex. Coverage:	925 sgpm - 3.19%	Stone isolator	
Prop. Coverage:	141 sgpm - 0.49%	Power Skirting	
Total Coverage:	5801 sgpm - 20%	5 Watt LED Downlighter as per specification	
FSI	0.60	20 Watt Compact fluorescent hanging pendant light as per specification	
PARKING BAYS	48.3 Bays	30 Watt Compact fluorescent ceiling light as per specification	
PARKING CALCULATIONS		30 Watt night light ceiling mounted	
REQUIRED PARKING	= 48.3	10 Watt x 2 External LED wall mounted light	
PARKING PROVIDED BAY FOR DISABLED	07 parking bays	50 Watt External LED wall mounted spotlight	
NORMAL BAYS	53	13 Watt internal compact fluorescent uplighter (wall mounted) as per specification	
PROPOSED PARKING	= 55	Starlight (wall mounted) as per client	
WATER RETICULATION LEGEND		LED strip lighting	
As per Page 101		Powerpoint as per client	
Foot light		Electrical fence control box	
Electrical fence control box		Gate Control Unit	
Gate Control Unit		Pre-paid Electricity meter	
Daylight sensor		Intercom panel	
Intercom panel		Intercom system	
Intercom system		Alarm panel	
Alarm panel		Alarm system	
Alarm system		Hot dry weatherproof plug	
Hot dry weatherproof plug		Main distribution board	
Main distribution board		Sub distribution board	
Sub distribution board		Uninterruptible power supply	
Uninterruptible power supply		Isolator to be isolated for future fire risk ratio	
Isolator to be isolated for future fire risk ratio		Isolator, always to be as per specification	
Isolator, always to be as per specification			

GENERAL NOTES:

All dimensions to be checked on the before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractor to adhere to all local authority regulations and requirements. Contractor to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the client's (D&R) Occupational Health and Safety (OHS) file. All work to be done in accordance with the National Building Regulations (NBR) and SANS 10400. Before the drawing is issued it is the contractor's responsibility to ensure he is familiar with the file. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All lighting fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400 Part 10. All new work to be made good with existing. This drawing is not to be scaled unless printed by a computer. All existing dimensions are to be checked on site. Top of foundations to be at minimum of 100mm below finished ground level. Minimum 100mm thick concrete surface based on per Engineer's drawings to be on 200 mm 'spiral' with green dam on 300mm sand and bedding layer and on well compacted fill in layer not more than 100mm. SABS Approved 'spiral' 300 mm, dia. order of wall, window cills and of changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations, the contractor is responsible for all site visits by local inspection and report of laws in connection therewith. All drawings are to be correct and in accordance with the national building regulations. All roof measurements to be taken on site by the contractor and confirmed by the architect prior to commencement of work. Levels shown are relative to a benchmark or 100.00 m of mean sea level and is not the actual level but a benchmark to base other heights of the building above on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on the site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.	
Smoke Detectors	
Manual Control Panel	
Signage for direction of fire escape route	
Signage for fire extinguisher	
Fire extinguisher	
Fire blanket	
Fire escape route	
30m fire hose reel	
Fire hydrant	

DRAWING TITLE:

MUNICIPAL SUBMISSION

PROJECT TITLE:
ADDITIONS ON ERF 2377, THEESCOMBE
PORT ELIZABETH FOR Mr Saunders

22 Jun 2026
CLIENT SIGNATURE

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Fairview, Port Elizabeth, 6070

22 Jun 2026
PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO.:	2377, Theescombe
ERF AREA:	29025 sgpm
EXISTING AREA:	925 sgpm
NEW AREA:	141 sgpm
TOTAL AREA:	1066 sgpm
EX. COVERAGE:	925 sgpm - 3.19%
TOTAL COVERAGE:	1066 sgpm - 4%
NEW GARAGES:	0
NEW BATHROOMS:	0
POOL:	NO
BOUNDARY WALLS:	0M
AGE OF BUILDING:	27



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PROJECT NO.:
2026/022_STABLES

DRAWING NO.:
2026/022_STABLES_M501

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D&R

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SHEET NO.:
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