

INTRODUCTION

This document is specific to St Francis Bay, Santareme & Cape St Francis and outlines the Aesthetic Guidelines.

This working document records the Aesthetic Committee and the Residents Associations collective efforts to protect a coherent identity of the Area.

Aesthetics Committee is a sub-committee of the Ward Committee, under the chairmanship of the Ward Councillor.

The Aesthetics Committee consists of the

- Ward Councillor
- Building Inspector
- Nominees appointed for their technical ability

The Aesthetics Committee is tasked with ensuring that all buildings and structures are consistent with Architectural Guidelines.

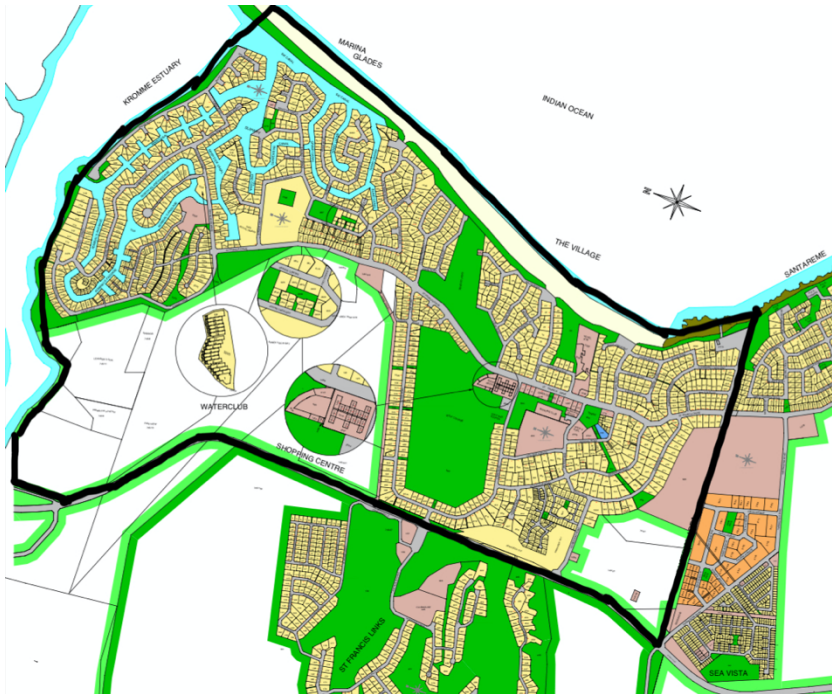
It is to be noted that whilst a proposal may comply with the Aesthetic Guidelines, it must also capture the area's intended Architectural' ethos'.

All submissions will be considered on merit, and precedent cannot be used as motivation. The Aesthetics Committee reserves the right to defer submissions that it deems to have failed in this respect.

Review meetings are held every 2 weeks - approvals must be obtained prior to plans being uploaded onto the Kouga OVViO system.

These Guideline Lines are to be read in conjunction with the Kouga Land Use Scheme 2021 and the relevant Title Deeds. Whichever is the more onerous takes president.

ST FRANCIS BAY VILLAGE & CANALS



The architectural character for St Francis is white walls and high double-pitched black roofs.

Low predominantly horizontal building forms with the 1st storey being within the roof space roofs must form the dominant feature and be a characteristic element.

Symmetrical rooflines and shapes are encouraged. Long forms, articulated to avoid over scaling, with low horizontal aspects shall be deemed appropriate.

Buildings must conform to the site's levels and natural contours.

No person shall develop any vacant property in St Francis Bay, nor extend or alter any existing development in a manner or style inconsistent with the general prevailing St Francis style.

GENERAL

Building Lines

- 5m from the road boundary
- 4,5 m from the lateral boundary if thatch or 2m for other roofs
- 4,5m from the rear boundary if thatch or 3m for other roofs

Coverage

- a maximum of 50% including garages, covered patios, verandas and balconies

Height Restriction

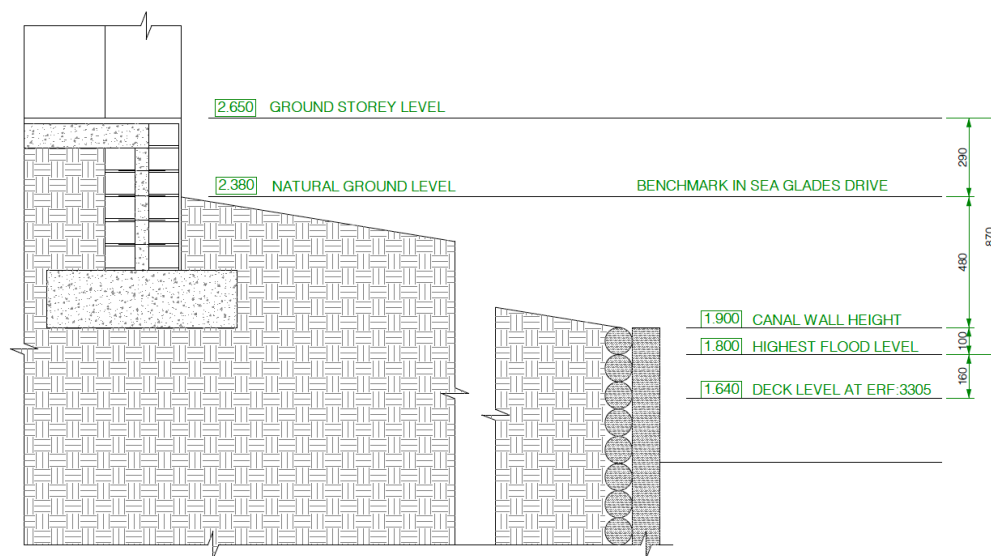
- the maximum permissible height of a building measured vertically from natural ground level at any point shall be 8,5m
- the 1st storey wall plate level shall not exceed 1,2m in height
- maximum height of a storey to be 4m

Canal Front Properties

- at the lowest point in Sea Glades Drive, St Francis Bay, a benchmark level was surveyed and marked on the road
- the same benchmark height is the minimum **finished ground level** that is recommended for the canal front properties that might be lower than this surveyed point
- for the same properties, the height restriction of 8,5m will also be measured from the same benchmark height providing the ground level is raised to this level

LOWEST RECOMMENDED BUILDING HEIGHTS ABOVE MEAN SEA LEVEL FOR THE CANAL AREA IN ST FRANCIS BAY

NOTE: THE 8.5M HEIGHT RESTRICTION IS MEASURED FROM THE BENCHMARK $2.380 + 8.500 = 10.880$ ABOVE MEAN SEA LEVEL

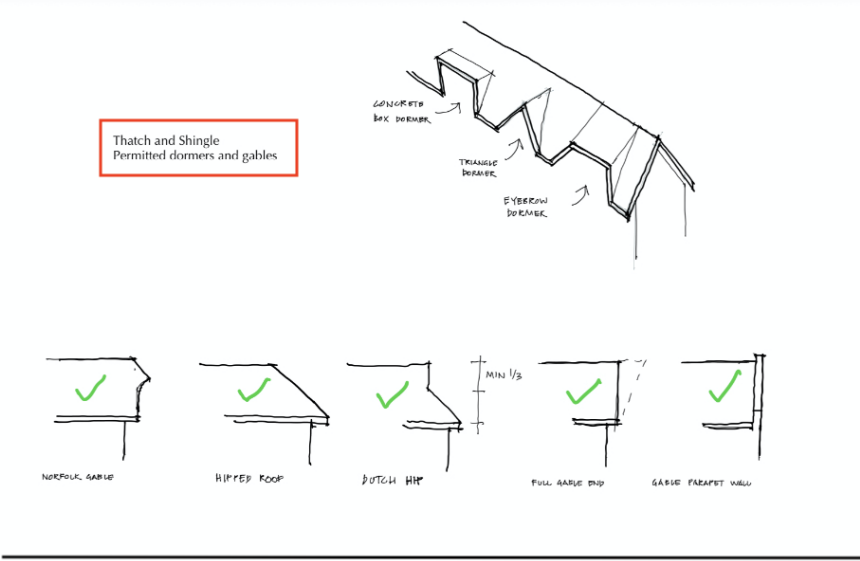


Canal Infrastructure

- any new canal infrastructure, i.e., canal wall, jetty, slipway, to be installed or existing infrastructure maintained, changed or replaced the SFRHOA require submission of a dimensioned layout for approval
- The layout should include
 - surveyed erf boundary on the canal
 - canal infrastructure existing and proposed
 - jetty infrastructure existing and proposed
 - slipway existing and proposed

Roofs – Quick Guide

- thatch and shingle roofs adopt the same style
- tile and sheeting roofs adopt the same style



Roofs - Primary

- double roof pitch, not less than 45 degrees
- roof trusses not to exceed 8 meters in width measured from the outside walls at wall plate height
- the 1st storey wall plate level shall not exceed 1,2m in height

Dormers

- to be linearly restricted to 50% of the applicable elevation
- dormers to stop short of gable ends with roof dropping down to 1,2m wall plate on either side of dormers
- St Francis eyebrow dormer should spring from the ridge and not be less than 30 degrees - NOT permitted for tiles & sheeting
- 45-degree double pitch triangular dormer permitted for all roofing types
- concrete box dormer permitted for all roofing types
 - are not to exceed a 2,25m net opening height
 - to project vertically from a sloping roof on both sides
 - can project a maximum of 900 perpendicularly from the face of the external wall

Gable Ends

- full gable end
- parapet wall
- Dutch Hip - at least a third of the height of the hip
- Norfolk gable - NOT permitted for tiles & sheeting
- hipped roof - NOT permitted for tiles & sheeting

Primary Roofing Materials Permitted

- dekrit thatch - capped with mortar and painted white
- bitumen single - colour charcoal (e.g. Owens Corning - Estate Grey)
- slate – colour natural black
- concrete roof tile – flat profile - colour charcoal (e.g. Coverland Elite, Marley Modern)
- Rheinzink double standing seam – prePATINA graphite grey
- 0.80mm aluminium sheeting – colour charcoal grey (G4 ColorTech)
 - corrugated S10 rib profile roof sheets and accessories
 - Kliploc 406 or 700 concealed fix double standing seam roof sheets and accessories

Roofs - Secondary

- as connecting elements only - max 20% of roof area
- mono-pitched sheeted roofs at a pitch maximum of 5 degrees with fascias to conceal roof profile
- flat concrete roof - exposed to exterior elevation are to incorporate parapets and if visible from adjoining property to be covered in stone

Secondary Roofing Materials Permitted

- Rheinzink double standing seam – prePATINA graphite grey
- 0.80mm Aluminium sheeting – colour charcoal grey (G4 ColorTech)
 - corrugated S10 Rib profile roof sheets and accessories
 - Kliploc 406 or 700 concealed fix double standing seam roof sheets and accessories
- concrete flat roof
- glass
- polycarbonate sheeting

Roof Conversions to ties or sheeting

- eyebrow dormers - NOT permitted
- shed dormers – ONLY permitted for roof conversions
- Norfolk gable - NOT permitted
- hipped roof - NOT permitted
- the roof structure to be altered to accommodate permitted dormer & gable ends

Other

- roof lights & windows to fall within the plane of the roof
- where the roof structure of an existing freestanding flat-roofed outbuilding is altered, the roof to be replaced with a double pitched roof that matches the primary roof

Roofing Exclusions

- pyramid, vault or bubble type roof lights or roof windows that fall within the plane of the roof
- roofing materials
 - IBR type profiles
 - metal tiles (e.g. Harvey / Metro type tile)
 - aluzinc & galvanized sheeting
 - any other roof covering materials not listed under permitted materials

Walls

- clay brick plastered, or bag washed
- concrete bricks plastered
- only **un-tinted WHITE** paint on external plastered walls permitted
- no stone or face brick may be used in the construction of chimneys
- plinths not to exceed 2 courses above ground level
- 5% of elevation can be timber or natural stone cladding
- all sewer, waste and water lines above 1m must be in serviceable ducts

Doors & Windows

colours permitted

- white
- bronze

- charcoal
- grey
- black
- natural timber

Boundary Walls

- boundary walling not to exceed 1.8m in height measured from natural ground level
- walling of 2.1m in height measured from natural ground level permitted only to screen service yards

Street Boundary

- solid brickwork - plastered or bag washed painted **un-tinted WHITE** paint
- brickwork columns - plastered or bag washed painted **un-tinted WHITE** paint with infill panel of
 - timber
 - wrought iron or aluminium infill panels
 - ClearVu type infill panels – not encouraged

Other Boundaries

- as per street boundary and including
- timber slatted
- wrought iron or aluminium
- ClearVu type or wire mesh fencing – not encouraged

Specific Exclusions

- precast walling
- industrial type palisade fencing
- razor wire
- any other type of fencing not listed in specific inclusions

Sewer System

- where waterborne sewerage is available, properties must connect to it
- when waterborne sewer is not available, a conservancy tank must be installed with a minimum size of 6,5m³ below the inlet
 - one suction point per erf must be installed within 1m from the boundary on the road verge
 - the invert level of the tank must not be more than 3,5m below the level where clearing (at suction coupling) takes place
- septic tank with a soak-away is not permitted

Solar Panels

- should not detract from the dominant roof elevations that form a vital part of the town's visual character
- panels should be screened from public view where possible to reduce the negative visual impact of any products that do not match the colour of the roof
- only charcoal frames for PV panels permitted

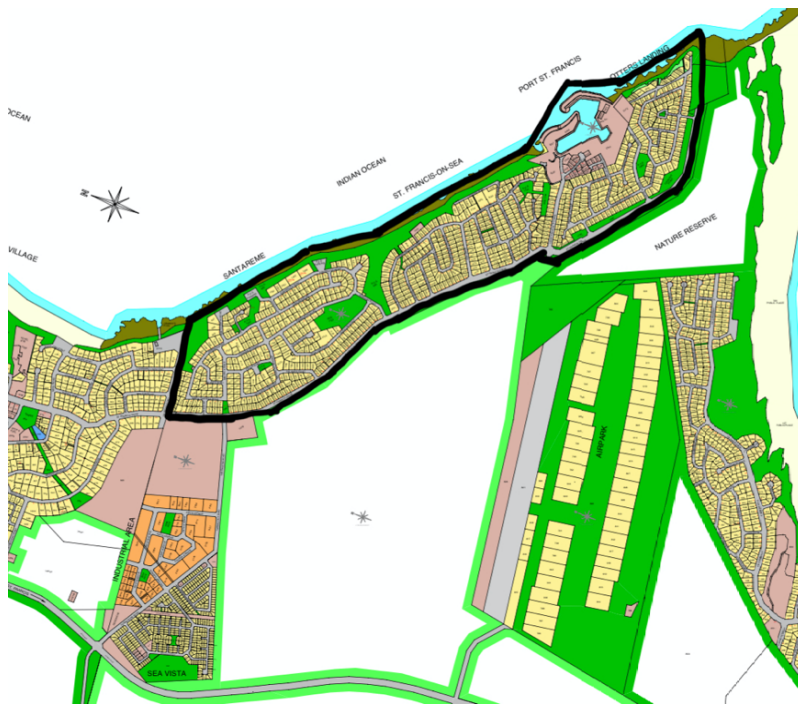
Basements

- the finished floor level of which is at least 2m below, or the ceiling of which is at most 1m above, a level halfway between the highest and lowest natural levels of the ground immediately contiguous to the building

Other

- tinted glass balustrading not permitted
- no Milkwood trees or other protected flora may be removed without the prior approval from Nature Conservation

SANTAREME



The architectural character for Santareme is Mediterranean / Sardinian in style with muted earth tone walls and low-pitched terracotta roofs.

Broken and fragmented building forms of a small scale with low pitched roofs must form the dominant feature and be a characteristic element.

Where possible, masonry plastered walls should be used to link buildings and provide a cohesive townscape.

Buildings must conform to the site's levels and natural contours.

No person shall develop any vacant property in Santareme nor extend or alter any existing development in a manner or style inconsistent with the general prevailing style.

GENERAL

Building Lines

- 5m from the road boundary
- 2m from the lateral boundary
- 3m from the rear boundary

Coverage

- a maximum of 50% including garages, covered patios, verandas and balconies

Height Restriction

- the maximum permissible height of a building measured vertically from natural ground level at any point shall be 8m
- buildings to be a maximum of two storeys
- maximum height of a storey to be 4m
- the first floor may not exceed 50% of the ground floor area
- the 50% may be exceeded providing it does not exceed 20% of the erf size

Roofs

- roofline shall be broken and, where possible, asymmetrical
- roof pitch shall not be less than 18 degrees or more than 25 degrees
- roof trusses not to exceed 8 meters in width measured from the outside walls at wall plate height
- roofing materials must be deep profile concrete or earthenware tile in a **TERRACOTTA COLOUR**
- no dormer windows permitted
- no overhangs or bargeboards allowed on gable-ends
- roof-end walls finished off with a low gable wall or tile-capping
- hipped roofs require eave cobbling

Walls

- clay brick plastered, or bag washed
- concrete bricks plastered
- only **MUTED EARTH TONES** or **WHITE** paint on external plastered walls permitted
 - a colour chart denoting the chosen shade must accompany all plans
 - no two-toned buildings permitted other than a variation of shading in the window area or corbelling
 - for maintenance the same paint colours must be used unless the Aesthetic Committee has approved a colour change
- no stone or face brick may be used in the construction of chimneys
- plinths not to exceed 2 courses above ground level
- 5% of elevation can be timber or natural stone cladding
- all sewer, waste and water lines above 1m must be in serviceable ducts

Doors & Windows

colours permitted

- white
- bronze
- charcoal
- grey
- natural timber

Boundary Walls

- boundary walling not to exceed 1.8m in height measured from natural ground level
- walling of 2.1m in height measured from natural ground level permitted only to screen service yards

Street Boundary

- solid brickwork - plastered or bag washed painted to match the dwelling
- brickwork columns - plastered or bag washed painted to match the dwelling with infill panels of
 - timber
 - wrought iron or aluminium infill panels

Other Boundaries

- as per street boundary and including
- timber slatted
- wrought iron or aluminium
- ClearVu type or wire mesh fencing – not encouraged

Specific Exclusions

- precast walling
- industrial type palisade fencing
- razor wire
- any other type of fencing not listed in specific inclusions

Sewer System

- where waterborne sewerage is available, properties must connect to it
- when waterborne sewer is not available, a conservancy tank must be installed with a minimum size of 6,5m³ below the inlet
 - one suction point per erf must be installed within 1m from the boundary on the road verge
 - the invert level of the tank must not be more than 3,5m below the level where clearing (at suction coupling) takes place
- septic tank with a soak-away is not permitted

Solar Panels

- should not detract from the dominant roof elevations that form a vital part of the town's visual character
- panels should be screened from public view where possible to reduce the negative visual impact of any products that do not match the colour of the roof

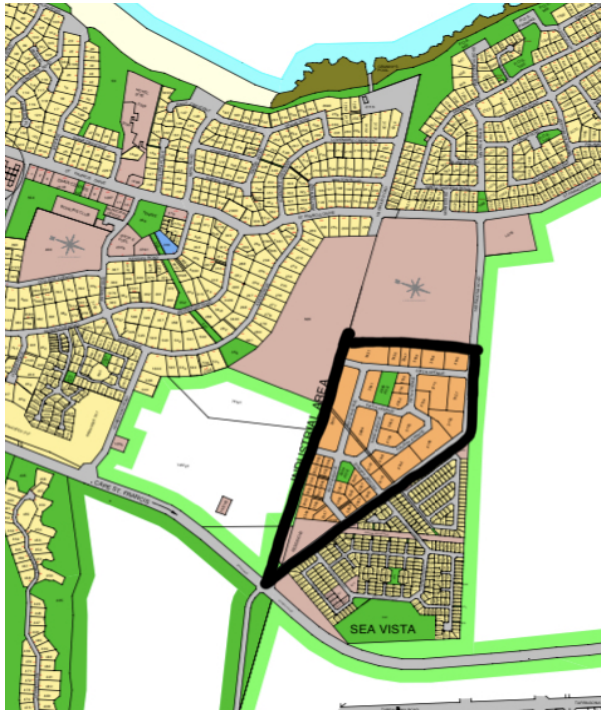
Basements

- the finished floor level of which is at least 2m below, or the ceiling of which is at most 1m above, a level halfway between the highest and lowest natural levels of the ground immediately contiguous to the building

Other

- tinted glass balustrading not permitted
- no Milkwood trees or other protected flora may be removed without the prior approval from Nature Conservation

INDUSTRIAL AREA



GENERAL

Building Lines

- 5m from the road boundary or as per setback line
- 0 m from the lateral boundary
- 0m from the rear boundary

Coverage

- a maximum of 75%

Height Restriction

- the maximum permissible height of a building measured vertically from natural ground level at any point shall be 11m
- only single storey
- 25% mezzanine floor permitted

Roofs

- not less than 12 degrees
- concrete roof tiles
- aluminium or zinc alum sheeting
 - corrugated S10 rib profile roof sheets and accessories
 - kliploc 406 or 700 concealed fix double standing seam roof sheets and accessories
 - IBR profile roof sheets and accessories

- only black or grey roofs permitted

Walls

- only **WHITE** or **GREY** external walls permitted

Street Boundary

- solid brickwork - plastered or bag washed painted to match the building
- brickwork columns - plastered or bag washed painted to match the building with infill panels of
 - timber
 - wrought iron or aluminium
 - ClearVu type

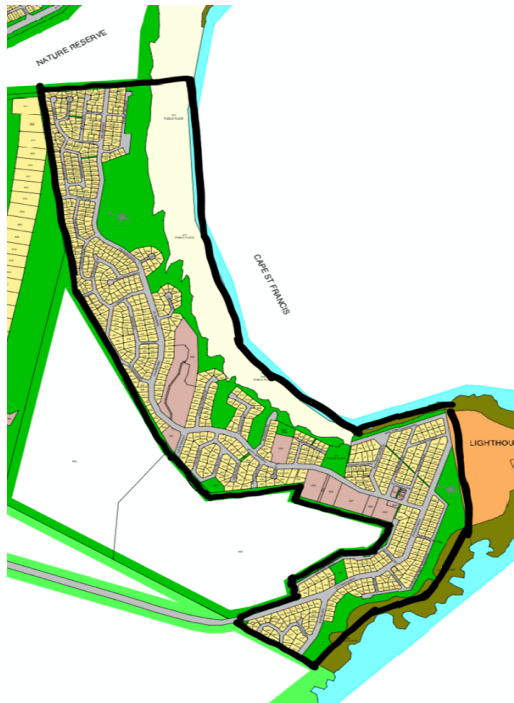
Other Boundaries

- as per street boundary and including
- timber slatted
- wrought iron or aluminium
- ClearVu type or wire mesh fencing

Specific Exclusions

- precast walling

CAPE ST FRANCIS



Part of the appeal of Cape St. Francis is the varied shape, size and design of its houses which have evolved from its early fishing shack beginnings.

Whilst minimal restrictions are contemplated, it is necessary from time to time, to review development and progress and update requirements to maintain the steady rise in value of both land and property in this area.

Buildings must conform to the site's levels and natural contours.

GENERAL

Building Lines

- 5m from the road boundary
- 4,5 m from the lateral boundary if thatch or 2m for other roofs
- 4,5m from the rear boundary if thatch or 3m for other roofs

Coverage

- a maximum of 50% including garages, covered patios, verandas and balconies

Height Restriction

- the maximum permissible height of a building measured vertically from natural ground level at any point shall be 8,5m

- buildings to be a maximum of two storeys
- maximum height of a storey to be 4m

Walls

- all sewer, waste and water lines above 1m must be in serviceable ducts

Boundary Walls

- boundary walling not to exceed 1.8m in height measured from natural ground level
- walling of 2.1m in height measured from natural ground level permitted only to screen service yards

Specific Exclusions

- precast walling
- industrial type palisade fencing
- razor wire

Sewer System

- septic tank with a soak-away permitted, subject to a percolation test
- low lying areas to have a conservancy tank
- conservancy tank must be installed with a minimum size of 6,5m³ below the inlet
 - one suction point per erf must be installed within 1m from the boundary on the road verge
 - the invert level of the tank must not be more than 3,5m below the level where clearing (at suction coupling) takes place

Solar Panels

- should not detract from the dominant roof elevations that form a vital part of the town's visual character
- panels should be screened from public view where possible to reduce the negative visual impact of any products that do not match the colour of the roof

Basements

- the finished floor level of which is at least 2m below, or the ceiling of which is at most 1m above, a level halfway between the highest and lowest natural levels of the ground immediately contiguous to the building

Other

- no Milkwood trees or other protected flora may be removed without the prior approval from Nature Conservation