



WEDGEWOOD

*Golf and Country Estate*

# ARCHITECTURAL GUIDELINES

WDM 01- REVISION E04

JUNE 2019



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## **ii. Definitions, Abbreviations and Interpretation**

**‘AG’** - means The Architectural Guidelines, as part of the Design Manual (DM).

**‘Association’** - means The Wedgewood Village Golf and Country Estate Homeowners Association (WVHOA).

**‘Contractor’** - means any builder, subcontractor, engineer or service provider of any materials or services associated with the development.

**‘CRR’** - means The Wedgewood Village Golf and Country Estate Contractors Rules & Regulations (CRR), a component of the Design Manual. This is a separate document to the AG.

**‘Design Manual’** - means The Wedgewood Village Golf and Country Estate Architectural Design Manual – a comprehensive package of all related documents.

**‘Developer’** - means the Wedgewood Village Golf and Country Estate (Propriety Limited and includes its successor in title or assigns: (as per Articles of Association).

**‘Development’** - means (in the context of an improvement to a residential erf) – any activity that transforms the natural condition of the land and shall include an improvement as defined in the Constitution of the WVHOA (also referred to as HOA). It means in the context of all the land comprising the Wedgewood Village Golf and Country Estate.

**‘ARC’** - means The Wedgewood Village Golf and Country Estate Architectural Review Committee established to control the Architectural Guidelines and the development of the estate at large.

**‘Estate’** - means The Wedgewood Village Golf and Country Estate.

**‘Estate Manager’** - means a person appointed by the HOA with the same title.

**‘Footprint’** - means the area directly affected by development, e.g. the footprint of a house will be the area within the outer perimeter of all structures on a stand covered by roofed or paved construction.

**‘Form’** - means the shape or pattern of buildings and associated development.

**‘Registered owner’** - means the registered owner of an erf or unit as registered in the relevant Deeds Office: (as per Articles of Association). Adherence to the Architectural Guidelines applies equally to both developer and registered owners.

**‘HOA’** - means the Wedgewood Village Golf and Country Estate Home Owners Association.

**‘WVGCE’** - means The Wedgewood Village Golf and Country Estate.

**‘Erf’** - means an erf in the development, including an erf in a group housing development or cluster development and reference to an ‘erf’ shall include the golf course land and the club house and other facilities thereon, including any swimming pool and tennis courts; (as per Articles of Association).

**‘Estate Architect’** - means a Professional Architect appointed by the HOA for the approval of building plans and who serves on the HOA. See Item 3.2 for further detail.

**‘Structure’** - means any man-made construction including linear structures, e.g. roads, paving, service pipes or cables.

**‘Deviation’** – means (in the context of the AG) a deviation from the latest release of the AG, but excludes deviations for the Design Parameters, Planning and Form, Roofing, Roofing Form, Roofing Material, Elevations and Exterior Walls- Materials and Finishes, as per the AG.



# 1. INTRODUCTION

## 1.1 Background

The proposed Wedgewood Village Golf and Country Estate consists of three primary components, namely: -

### 1.1.1. Nature

The natural vegetation in the area is deemed to be ecotonal between the Colleen Glen Grassy Fynbos and the Rowallan Park Grassy Fynbos types which form part of the Algoa Grassy Fynbos Broad Habitat Unit.



Remnants of indigenous thickets occur along the drainage line between the 13<sup>th</sup> and 14<sup>th</sup> holes of the golf course. Various grassy fynbos elements are present, especially in the north western section of the area that has been designated as private nature reserve. Furthermore, a number of natural rocky outcrops are scattered over the proposed development area. These outcrops can be regarded as having a microclimate of its own and provide habitat for a number of succulent plants. These features of conservation significance have been taken into account in the planning and design of the development via Private Open Spaces, yet owners/architects are advised to show sensitivity where the above is present on erven.

### 1.1.2. The Golf Course

The Estate's 18-hole golf course is well established and in high demand amongst golfers. It serves the purpose of advancing enjoyable golf, leisure opportunities and to otherwise promote a 'country style' living experience. The fairways meander in between golf course erven, hence the need for architects to take safety into account during design.



### 1.1.3. The Built Environment

This is the primary concern of these Architectural Guidelines, namely to define the framework within which owners and architects are expected to design and construct proposed buildings. The ARC is concerned about the exterior aesthetics of buildings.

## 1.2. Objectives for the Built Environment

Designs should NOT reflect any particular traditional architectural style/movement. The challenge for the architect is a combination of the following: -

- Architectural elements typical of the Eastern Cape, interpreted in a contemporary and individualistic manner, with no undue ornate embellishments.
- Local building materials
- Energy efficient form and orientation, taking micro-climatic conditions into account.





Although the above allows for a wide range of interpretations it must be noted that designs should adhere to the parameters of these Architectural Guidelines as per Item 5.

*The image alongside, captioned “NOT ACCEPTABLE”, illustrates the ornate and historically referential detailing which is not permitted on the estate.*



*The image alongside, captioned “ACCEPTABLE”, illustrates the, simple, honest and contemporary expression encouraged on the estate.*



## 2. GENERAL PROVISIONS OF THE ARCHITECTURAL GUIDELINES

The Architectural Guidelines (AG) are intended to create a platform for Registered Owners to express and address their individual lifestyles and embrace a diverse yet site sensitive architectural expression. While it is the intention of this document to create opportunities for freedom in expression, it is paramount that these guidelines serve to protect the individual Registered Owners from inappropriate architecture that could negatively impact the high-quality built environment intended for the Estate. The intention of this document is not to define planning of individual buildings, but rather establish a set of calculated parameters and guides in the interest of creating a rich and like-minded architectural fabric on the Estate.

Whilst the AG aims at controlling the nature of development on the Estate, this document has been drafted with various regulations, standards, studies, constitutions and the like, and should not be read independently, nor does its content exempt the Developers and their appointed professionals as well as Registered Owners and their appointed professionals from any statutory regulations and requirements which are deemed to be the higher order. It is the responsibility of the Registered Owner to read this document in conjunction with all associated documents.

It is *not* the responsibility of the ARC to ensure conformity to statutory regulations and will only be responsible for vetting of plans for approval relative to the AG insofar as aesthetics, design and site placement are concerned. The onus lies with the Registered Owners and they are to ensure that their developments conform to all regulatory requirements and parameters, and the ARC cannot be held liable for any infringements or deviations from such.

The AG is a working document and may be subject to amendment or change at the discretion of the HOA.

## 3. PLAN APPROVAL PROCESS

### 3.1. Composition and Duties of the Architectural Review Committee (ARC).

The Architectural Review Committee (ARC) is a panel of elected members by the HOA, who's responsibility it is to manage the development on the Estate through means of establishing design control parameters for the Estate as well as enforcing the adherence to such in order to maintain the high standard of development envisaged for the Estate.

The panel is comprised of the following persons:

- 1 appointed member of the Home Owners Association (HOA);
- 1 appointed representative of the Developer (during the development period);
- 1 registered professional Architect.

When required, the appointed Environmental Control Officer for the Estate will be consulted by the ARC for matters requiring the Estate's environmental consideration.

The intention for the ARC is to ensure that all procedures outlined in the AG are adhered to by Registered Owners and developers, before, during and after their development. This will be achieved through scrutiny of submitted plans for buildings (new and alteration works), on-site inspections, and remedial action which may include legal procedures.



### 3.2. Building Plan Submission Procedures (including Revisions, Alterations & Additions and Change of Use).

The ARC will be responsible for the evaluation of all proposed structures – it will address not only the visual aesthetics, but will also evaluate and monitor planning, material selections, etc.

Only Professional Architects registered with the South African Council for the Architectural Profession, with registration classification of PR. ARCH (Professional Architect) will be eligible to conduct work for Registered Owners on the Estate. Architectural Technologists, Technicians and Draughtspersons who are registered with SACAP and the Local Authority, will be able to conduct work on the Estate, but it must be done under the guidance of a professional architect (PR. ARCH). The submission to both the ARC and the local authority should be done by the PR. ARCH, under his/her firm's name, inclusive of all related documentation.

The procedure for ARC planning approval is as follows:

- a. **Pre-Submittal Meeting** - This stage is not mandatory but highly recommended. This should entail arranging a scheduled meeting with the ARC for the informal presentation of sketch designs with intended material use to ensure that the design principals are in-line with the AG. This process is intended to streamline the approval process and save all parties involved time and potential penalties at a later stage.
- b. **Working Drawing Approval** - Before any submissions are made to the Local Authority for approval, working drawings for the development first need to be submitted to the ARC for its recommendations and approval. This is done in order to facilitate the formal submission process to the Local Authority.

Working drawings submissions to the ARC are to consist of all plans required by the Local Authority, and to the required standards, specifically;

- A site plan

- The site contour plan
- All floor plans, indicating specific materials and finishes
- All elevations, indicating specific materials and finishes
- Typical section/s
- Area and bulk schedules
- Permissible height restriction to be indicated
- Boundary wall /details, including elevations and to specify waterproofing material to both sides of the wall, from the top of foundation to 170mm above finished ground level is to be waterproofed.
- All screening/shading devices to be indicated
- Chimney's and flues to be indicated
- Balustrading to conform to NBR and to be indicated
- Indicate the disposal of rainwater from the downpipes
- Finishes and material schedules
- Exterior paint colour specifications
- The positions of mechanical and plant equipment, (air-con units, etc)
- All service installations i.e. stormwater detail, sewer, water and electrical to be indicated
- General information required by the Local Authority such as neighbouring erf numbers and north point
- Written permission in the event of any deviation by all affected neighbours
- SANS energy efficiency calculations and forms (architect and engineer)

The applicant is to submit 1 x A1 colour copy set of working drawings to the ARC for scrutiny. Should the application not be successful, notes of problematic areas will be expressed on the submitted drawings along with a Scrutiny Checklist which will highlight what is required by the ARC to achieve a successful application in line with the AG. The applicant can collect this information and rectify the problems before repeating the submission procedure.



Once ARC approval is achieved the applicant is to submit a digital PDF copy of the drawing set as well as further 2 x hard copy colour sets of drawings which will be stamped and signed by the ARC (thereafter used for Local Authority submission). In addition to the above, once the plans have been approved by the Local Authority, a hard copy and a digital PDF copy of the approved plans are to be submitted to the Estate Manager, prior to construction.

Drawings that do not have the official ARC approval stamp and required signatures will not be accepted by the Local Authority for scrutiny purposes.

The ARC will respond within 7 working days of submission.

### 3.3. Fees & Forms

A fee is required for scrutiny of designs to the ARC, payable by the Registered Owner. This fee is to be paid prior to the submission of the design for scrutiny. Under no circumstances will the ARC scrutinise a submitted design before payment, or proof of payment has been received. Payment should be made directly into the Estate Architect.

The following fees will be applicable for submissions to the ARC:

- New submissions – R4,000.00 (Excl. VAT)
- Re-submissions (3 or more scrutiny sessions) – R1,000.00 (Excl. VAT) per submission
- Alteration & Addition submission – R1,000.00 (Excl. VAT)

Should a proposed design drastically or completely change from a previously ARC approved submission, the revised submission will be considered to be a New Submission. Furthermore, it is to be noted, that the applicable ARC scrutiny fees exclude scrutiny by the NMBM whose fees are the Registered Owner's responsibility and to be paid directly to the Local Authority.

All applications are to include the Plans Submission Form completed in full and is to include all the required details and signatures of the appointed architect and Registered Owner.

### 3.4. Deviation from Architectural Guidelines

In the event of any deviation from the latest release of the AG, received from any Registered Owner, approvals shall be sought from all affected neighbours prior to any decision been taken by the ARC. An affected neighbour shall constitute any Registered Owner that is directly or indirectly affected by any deviation which may or may not include immediate and distant neighbours. Only once approval is received from all affected neighbours will the ARC assess the proposed deviation on merit. The 'Deviation from Architectural Guidelines Form' to be submitted by the Registered Owner at sketch plan stage.

Variances shall be based on the basis of architectural merit and not on hardship. Approval will be granted without prejudice and will not form the basis for any precedent in the future.

In the event of any of the affected neighbours rejecting the proposed deviation the owner will be requested to adjust the plans to accommodate the extent allowed by the neighbour/s failing which the latest release of the AG applies. This process applies to all stages of submission.

#### The application procedure for a deviation is thus the following:

- 1) Consult all affected neighbours and discuss the proposal.
- 2) The Registered Owners of affected erven to complete the 'Deviation from Architectural Guidelines Form'. Should neighbours object to the proposal a motivation should be included with the above form.
- 3) Once approval is received from all affected neighbours will the ARC assess the proposed deviation on merit.
- 4) Should the application fail the AG will apply.



## 4. TOWN PLANNING PARAMETERS

The development is subject to the Building and Town Planning Regulations and By-laws imposed by the Local Authority. In addition to these, the following parameters are to be adhered to:

### 4.1. Zoning

The zoning of the Estate is Special Purpose as outlined in the NMBM Town Planning Amendment 5620 document (available from the ARC). The residential component is to be classified as follows:

- Sectional Title, medium density residential units referred to as “The Wedge”
- Single Residential Use which refers to either “Lifestyle Village” or “Golf Course” residential units.

The Single Residential Use sites will only permit one dwelling unit per erf and no erven may be subdivided nor rezoned for any other purpose other than that of a single residential dwelling.

Consolidation of 3 or more erven will not be permitted

### 4.2. Erf Boundaries

The Registered Owner is required to obtain a Beacon Certificate, and have the pegs pointed out to the contractor by a registered Land Surveyor prior to the commencement of any building work on site. No other party/s including the Developer and/or the HOA/ARC will be liable for incorrect positioning of boundary pegs nor inaccurate setting out of building footprints.

### 4.3. Building Lines

All buildings are to be contained within the building lines of the specific erven, and no relaxation of building lines will be permitted. The building

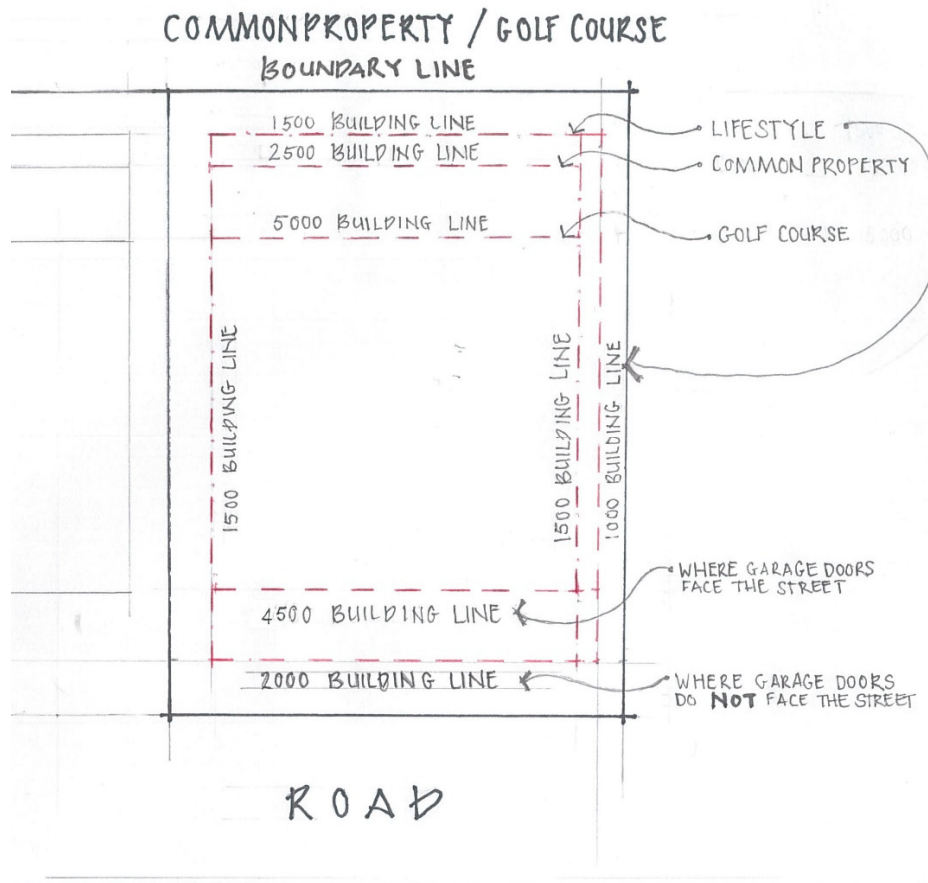
lines vary dependant on the nature and position relative to the Estate layout and can be determined through the use of Table 1. hereafter.

|                          | <b>Street Building Lines (Dwelling)</b> | <b>Street Building Lines (Garage) garage door facing street</b> | <b>Lateral / Side Building Lines</b> | <b>Rear Building Lines (Facing Res. Erf/Common Property)</b> | <b>Rear Building Lines (Facing Golf Course)</b> |
|--------------------------|-----------------------------------------|-----------------------------------------------------------------|--------------------------------------|--------------------------------------------------------------|-------------------------------------------------|
| <b>The Wedge</b>         | 2m                                      | N/A                                                             | N/A                                  | N/A                                                          | N/A                                             |
| <b>Lifestyle Village</b> | 4.5m                                    | 4.5m                                                            | 1,5m and 1m                          | 1.5m                                                         | N/A                                             |
| <b>Golf Course Erven</b> | 4.5m                                    | 4.5m                                                            | 1.5m                                 | 2.5m                                                         | 5m                                              |

*Table 1. – building lines*

Verandahs, balconies, covered decks and patios, staircases, gazebos, etc. are considered to be part of buildings and must be contained within the building lines of erven.





Note – where garage doors do not face the street the street building line will be 2m.

The appointment of all professionals required for all common and maintenance buildings on the state are subject to the approval of the HOA.

Erven at the end of a row onto the golf course or public open space will be allowed to have a lateral building line of 2,5m on that side subject to ARC approval.

Stormwater disposal onto neighbouring properties will not be permitted unless it is onto the Private Open Space or golf course interface and may not be concentrated to one point. Multiple boundary wall outlets should be incorporated and subject to approval by the ARC.

Any component generally not forming part of the coverage calculation i.e. a pool or open patio may be built closer to the boundary line, approval of which is at the sole discretion of the ARC and the local authority.

No windows will be allowed in any wall which is less than 1,0 meter from any boundary.

#### 4.4. Coverage & Floor Areas

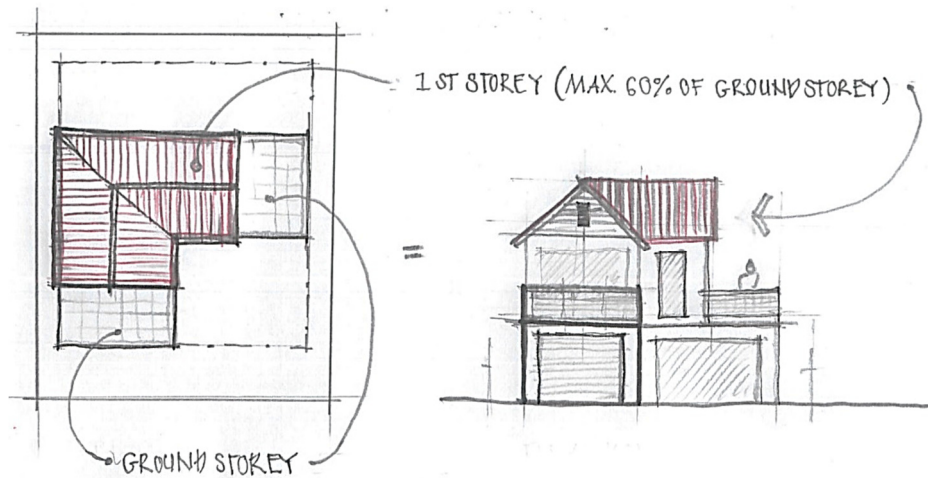
The maximum coverage for golf course and Lifestyle erven is 50% (as per Town Planning Amendment 5620). Coverage is deemed to include all covered elements such as covered verandahs and patio's, as well as any balcony or roof overhangs which are greater than 1m. The covered area must be contained within the building lines of erven.

A minimum floor area of **110sqm** for the **Lifestyle Village** and a minimum of **180sqm** is required for **Golf Course erven**. The above required floor areas include garages and carports. Floor area means Floor Space Index (FSI), as defined in the Port Elizabeth Zoning Scheme. A carport, if



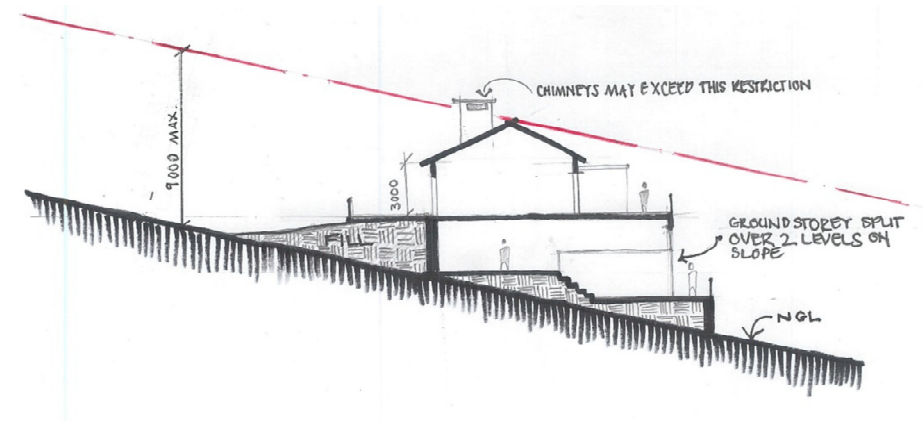
covered, is part of coverage and floor area calculations for the purposes of municipal submission.

For double storey units, the first storey area can be no more 60% of the ground storey area. See illustration below:



#### 4.5. Height Restrictions

No dwelling houses/units are permitted to exceed 2 storeys in height (a storey is deemed to mean max. 3m floor to floor and/or floor to wall plate height). Individual storey's may be split over two levels depending on the nature of the specific site's contours or specific design, but may be done so at the discretion of the ARC. No building is to exceed 9m above the Natural Ground Level (NGL) at any point. Chimneys and other vertical elements are excluded from this restriction but is subject to approval by the ARC.



#### 4.6. Second Dwellings

There shall be no more than one dwelling unit per erf. No second dwellings on any erf will be permitted. Freestanding/independent garages, entertainment areas, etc. will be permitted at the discretion of the ARC.

#### 4.7. Golf Course Interface

Where Golf Course erven directly abut golf course edges (tee's, fairways, designated rough areas, greens etc.), Registered Owners are required to maintain a 5m building line as outlined in sub-section 4.3 above. In such instances, Registered Owners are required to incorporate low-level landscaping to ensure a 'soft' edge is maintained between the golf course and individual dwellings. The only permitted fencing on the golf course facing edge of the erf shall be a max. 1200mm of high "Clear-Vu fencing" or similar approved by the ARC, preferably inclusive of a hedge.

#### 4.8. Energy Efficiency

Care is to be taken to ensure any building is in strict accordance with SANS 10400-XA: Energy Efficiency in buildings and SANS 204, with particular reference to orientation, insulation, heat gain and heat loss, before submission to the ARC. The ARC is not responsible for the monitoring of



these regulations and therefore any ARC approved submissions requiring design or orientation amendments due to deferral from the Local Authority for non-compliance to this regulation are subject to a re-evaluation by the ARC. (Note: Buildings will be required to conform strictly with SANS 10400 parts XB and XC upon official publishing of such legislation).

#### 4.9 Environmental Management

Great care shall be exercised to retain the natural vegetation and especially the indigenous growth and trees. No indigenous vegetation shall be removed without the prior approval of the HOA or the suitably qualified representative. Where indigenous growth and trees need to be protected, in the opinion of the environmental officer, it should be marked and screened off.

It is the individual owner's architect's explicit responsibility to obtain this information in respect of all surrounding sites, visit the site and verify this information prior to any design work being undertaken. The Environmental Management Plan (EMP) is key to the development of the Wedgewood Village Golf and Country Estate and dictates where development may take place, within what parameters and according to which associated environmental protocols. All parties involved in the planning and construction of a project are required to be fully conversant with this EMP. Failure to comply with the EMP and its protocols will render any implicated developer, professional or contractor in breach of the HOA's rules, which may include fines, removal from site and reinstatement at the expense of the offending party, and will be recommended to the HOA by the ARC. The Environmental Management Plan (EMP) applicable to the development (a copy of which is available from the ARC on request) shall be strictly adhered to.

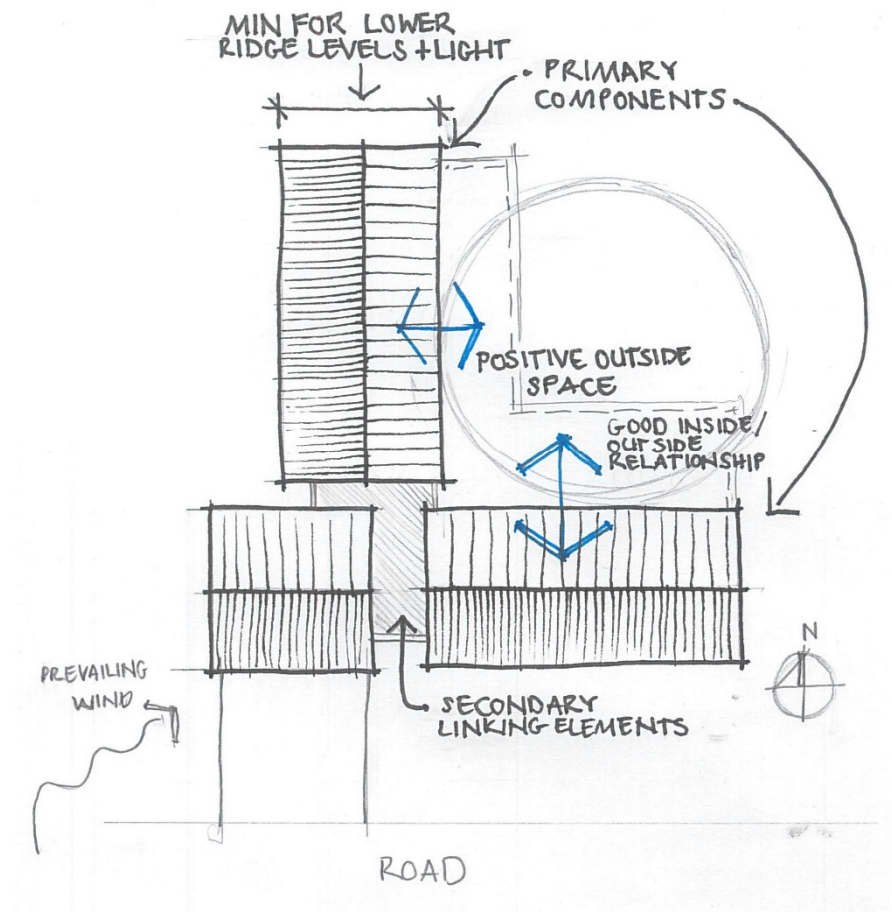
### 5. PARAMETERS FOR THE BUILT ENVIRONMENT

Item 1.2. – 'Objectives for the Built Environment' refers to design parameters. What follows are these parameters.



#### 5.1. Planning & Form

It is encouraged that the building form incorporates the use of simple geometric forms complementing the usage of the spaces. Mass can be broken down into a series of simple primary components connected through secondary linking elements arranged such as to create positive space as well as depth and interest in the composition of the site.



It is paramount that the form remains scale sensitive at all times. Singular compact forms will be considered by the ARC under the proviso that such will maintain a sensitive nature and scale, as well as provide a platform for positive elevational treatment. Care is to be taken to avoid large monolithic structures creating hard urban edges to the Estate.



*The above illustration refers to form only*

Use of vertical and horizontal form defining elements such as chimneys, feature screen walls, plinths etc. are encouraged.

Planning should be done in a manner to promote open plan living and should adopt a balanced relationship between inside and outside.

Outdoor living spaces are encouraged, particularly through the implementation of sweeping verandahs and patios.

The width of buildings should be kept to the minimum to lessen the effects of high roof ridge levels as well as promote good ingress of natural light. SANS 10400-XA are to direct planning in terms of orientation and energy saving measures. Planning should as far as possible be positioned to mitigate disturbance of the site and all indigenous plant species are to be protected and incorporated into the design.

## **5.2. Roofing**

Roofing is to be kept as scale sensitive as possible, and large barren roofed areas are discouraged. Where build form is broken down into a series of elements, simplified primary and secondary roof-scapes should be incorporated to express hierarchy, enforce its fragmentation and ensure the build form at large remains scale sensitive.

### **5.2.1. Roofing Form**

Only pitched roofs will be permitted for primary roofing elements and can be expressed as simple gable or hipped roof structures. Dutch gables will be acceptable at the discretion of the ARC. All pitched roofs are to be a minimum of 30 degrees and a maximum of 45 degrees. Mono-pitched roofs will not be permitted as primary roofing elements, but will be allowed when used for verandahs, covered porches and stoep areas or where it is abutting vertical walls. These may vary in pitch between 5 and 15 degrees.





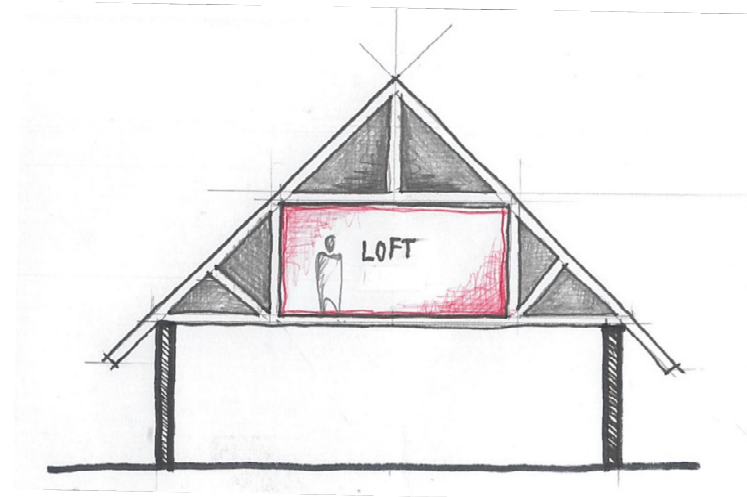
*The image above is to illustrate roof form only.*

Simple lean-to roofs are encouraged for verandah and patio areas and may be between 5 degrees and 15 degrees pitch. It is envisaged that such roofs are used to promote outdoor relationships and to soften facades.

Flat roofs (including exposed slabs, decks or balconies on floors above ground) are acceptable as secondary roofing elements and is advised to be kept to a minimum. Use of flat roofs will be at the ARC's discretion. Parapet walls will only be considered to flat roof portions conforming to the requirements highlighted above. Flat roofed garages are permissible, but roofs to be hidden behind parapets.

## Lofts

Registered owners are encouraged to make use of the ceiling void due to the prescribed pitch of the roofs. Use may be made of dormer windows and louvered vents to provide access and ventilation in loft areas. Special ARC permission is required and all lofts should be indicated on drawings submitted. The area of the loft to be indicated in the floor area calculations.

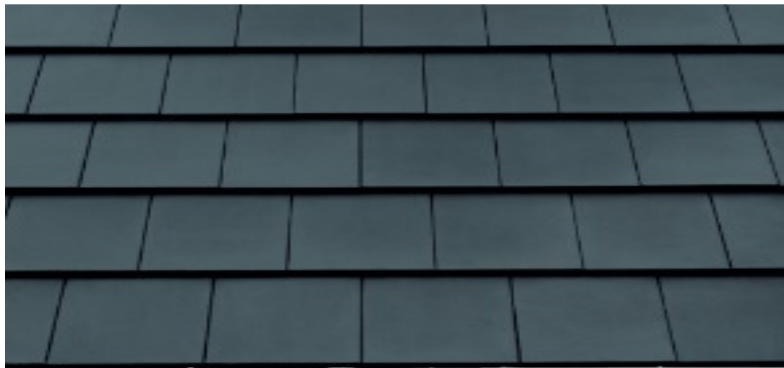


*The image above is to illustrate the use of loft space only.*



### 5.2.2. Roofing material

Uniformity in roofing material is encouraged and should appear consistent. It is paramount that the varied roofing materials blend harmoniously with the design at large and does not embody stark contrasts.



Permitted roofing materials include:

Victorian profile: Traditional corrugated galvanized iron, aluminium or approved powder coated sheet metal, eg. Chromadek, Colourbond, etc., in charcoal.

La Farge Elite through colour concrete roof tiles colour, in charcoal.

Concrete, sheet metal or boarded flat roofs concealed behind parapets.

Diamondek (concealed fix sheeting).

Brownbuilt (GRS concealed fix sheeting).

Selected roofing material should be consistent. IBR sheeting, asbestos or fibre cement roof sheets, thatch, galvanized metal unpainted roof sheets, translucent roof sheeting and any other material not listed will not be allowed.

Roof lights and glazed roof panels, use of 'Solatubes' or similar products will be acceptable although discouraged. Where incorporated, these should be for functional reasons, and must be concealed from view and are subject to approval by the ARC.



Parapet walls may not exceed four brick courses above the highest roof junction.

### 5.2.3. Gable Ends & Eaves Overhangs

It is encouraged that designs adopt the use of gable ends. It is advised that hipped roofs are only used for compact designs and softened by the use of sweeping verandahs and patios.

Gable end overhangs should not exceed 300mm. Where a design requires wider gable end overhangs, this will be subject to ARC approval. As the roof to wall junction may be a defining characteristic, such is to be treated with care and the designer is to submit a basic detail of gables end and overhang treatment for scrutiny with their submission.

Where flat concrete roof tiles are introduced, the tile ends may be left exposed, provided an adequate timber closer is provided at the junction between the overhang and the gable wall. A rake verge tile may also be used as per standard gable end roof detail.

No 'decorative' gable parapets will be permitted particularly those with historical reference such as Cape Dutch gables.

Large eaves overhangs are encouraged to act as a means of solar control. All eaves closures to be raked along the same pitch as the roof. T&G boarding may be used to close the eaves. The boarding is to be laid on top of the rafters between tile battens. Eaves overhangs of 600 mm are encouraged and may be closed or open. Storm clips to be introduced in accordance with manufacturer's requirements.

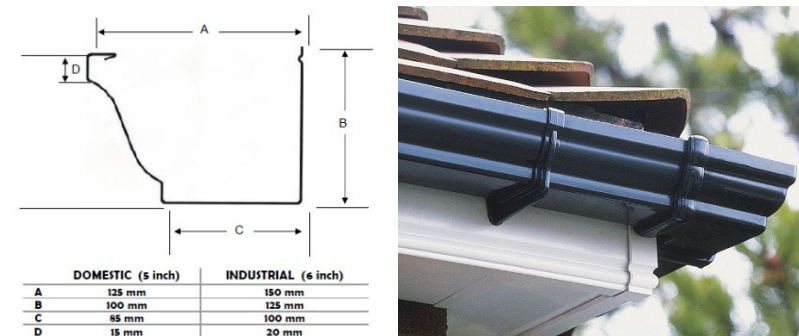
All exposed timber to be finished in approved oil, creosote or timber preservative with approved colour stain. Exposed truss ends/sprockets are permitted. Truss ends may be trimmed or narrowed with a straight-line chamfer. No scalloped truss ends will be permitted.

## 5.3. Rainwater Goods

### 5.3.1. Gutters & Downpipes

The disposal of rainwater onto the site should be controlled to avoid damage to the site. Rainwater downpipes must be positioned sympathetically.

White, Charcoal or Black Powder coated 'ogee' aluminium seamless gutters are required. Square profile aluminium or PVC and downpipes are permitted, and must match either gutter or wall.



Aprons of minimum 600 mm are encouraged around the building to ensure storm water is directed away from the building.

Where flat roofs are utilized, it is essential to ensure sufficient storm water displacement is achieved through use of full-bore outlets etc. Other forms of downpipes such as chain down pipes and stainless-steel spouts will be considered but are to compliment the design. Such must be clearly detailed on submission drawings and will be subject to ARC approval.

### 5.3.2. Rainwater Tanks

Rainwater to be managed by means of overland waterways such as driveways discharging into the internal road system.



Rain water harvesting is not compulsory but highly encouraged through the incorporation of water storage tanks. These tanks may be exposed above ground or underground but must remain within the confines of the erf boundary. All tanks are to be concealed by means of screen walls or cladding and care is to be taken with regards to placements to ensure minimum visibility.

Water tanks to be light beige or a similar colour to match the external walls of the building. A full specification as well as a detailed design is to be submitted to the ARC for approval.

## **5.4. Elevations**

Elevational treatment to be contemporary in nature and to embody a simplified 'country style' expression and little to no stylistic architectural adornment and artificial decoration is prohibited. Care must be taken in ensuring facades are well proportioned and sensitively scaled.

The simple relaxed architecture calls for honesty and integrity in the construction. All walls must be plain without undo decoration. Only simple square cut mouldings around windows and door will be allowed. Any deviation to this including ornate decorative mouldings are not permitted.

All exposed timber to be of suitable type and grade.

Only natural stone construction or cladding may be used as architectural affect to emphasize certain areas, i.e. plinth, chimneys, etc. It should preferably be a stone of local origin. The Estate promotes a varied natural material pallet; therefore, stone and timber are acceptable, subject to ARC approval. No facebrick or artificial stone elements will be permitted.

### **5.4.1. Exterior Walls**

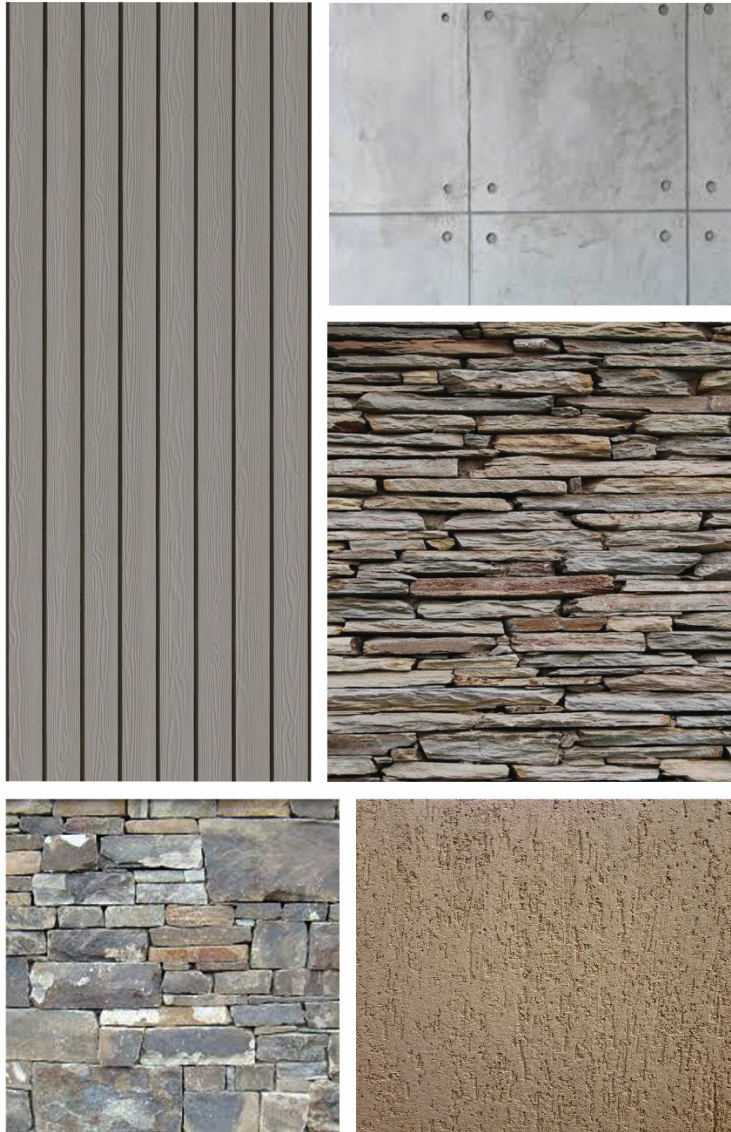
All external masonry walls are to be of a cavity wall construction (min 50mm cavity). Buildings must have a smooth or bagged plastered exterior finish.

### **5.4.2. Chimneys and Braais**

It is encouraged that chimneys and external braais are carefully positioned and expressed as feature elements with strong vertical proportions. Such mechanisms should remain simple in form, complement the overall design and offer visual excitement to facades and will be subject to ARC approval. Chimneys and flues may exceed the prescribed height restriction, but it is mandatory to ensure such is at least 1m higher than the roofing material.

Chimneys and flues may either be plastered and painted brickwork, natural dry-packed stone cladding, stainless steel or steel in nature and should be clearly indicated on ARC submission drawings. Furthermore, choice of cowl when applicable are to be submitted to the ARC for approval.





#### 5.4.3. Materials & Finishes

Approved exterior materials and finishes are the following:

- 1) Cement plastered walls – painted.
- 2) Cement plastered walls – may be finished smooth or with ‘Marmoran’ type textures, preferably in panels.
- 3) Dry-packed or flush jointed natural stone walling and natural stone cladding to retaining walls, plinths and chimney type elements only and to a maximum of 30% of the exterior elevation. Natural stone gabion walls as landscaping feature elements or boundary wall enclosures are permissible.
- 4) Pre-painted or site painted fibre-cement cladding boards with lapped joints and in narrow widths, only as roofing elements (gable ends or hipped roofs and service ducts).
- 5) Off-shutter concrete may be introduced as feature elements, but must compliment the design and may not exceed 15% of the exterior elevations.
- 6) Natural hardwood timber cladding in narrow widths with natural or stained finish. Any timber decking to be either Balau or Garapa.
- 7) Plain plaster band mouldings, 110mm wide, around openings ie. windows and doors will be permitted subject to ARC approval.
- 8) Plinth – to be waterproofed on external walls, from the top of the foundation to 170mm above finished ground level. Boundary walls both sides to be waterproofed as above.



Exterior materials, finishes, colours or components which are **NOT PERMITTED**.

- 1) Glass blocks or 'Win block' windows
- 2) Artificial stone
- 3) Ancient style Corinthian, Doric or ionic type columns.
- 4) Tuscan, Spanish or other foreign style detailing
- 5) Shade netting
- 6) Carports (unless integral part of architectural language)
- 7) Asbestos
- 8) Concrete blocks
- 9) Facebrick or klinker bricks
- 10) Timber picket or log fencing (gum poles)
- 11) Vibracrete
- 12) Reflective glass
- 13) Unpainted plaster
- 14) Decorative shutters
- 15) Razor wire, wall spikes, and the like.
- 16) 'Hulabond' or stainless steel cladding
- 17) Wendy houses and tree-houses
- 18) Exposed pool pumps
- 19) Chicken mesh or diamond mesh

20) IBR square fluted profile sheet metal

**NOTE:** A sample of any items not listed above is to be submitted to the ARC for approval.

#### **5.4.4. Estate Paint Palate**

The estate has endorsed the use of soft earthy tones for all the built fabric in order to create a harmony and to promote a sensitivity to the natural environment. Registered owners are able to select paint colours from the WVGCE palate for use as base and feature colours. Only the following colours from the *Plascon Décor Naturals* swatch will be permitted:

- 1) Worn Wood NEU 08
- 2) Light stone NEU 06
- 3) Winter savanna NEU 01
- 4) Statued NEU 12
- 5) Stone wall NEU 09
- 6) Wilted leaf NEU 07
- 7) Mountain fog NEU 03
- 8) Cream of mushroom D15-3
- 9) Silver E29-3
- 10) Sterling E29-4

A combination of the above colours will be permitted, but not more than three.





**NOTE: REGISTERED OWNERS ARE TO ENSURE THAT THE SELECTED COLOUR/S ABIDE BY THE ABOVE LIST OF CODES. Printed colours are not a true reflection of the colours selected. Plascon name and code to be used to establish the correct colour.**

## 5.5. Windows & Doors

All door and window proportions are to be carefully considered and should be vertically proportioned. As the architecture should be contemporary, large horizontal planes of glass will be permitted, should be carefully implemented and further express vertical rhythm through use of mullions and/or structural support.

Furthermore, such should only be adopted where played against and enforcing strong vertical feature elements and will be subject to review by the ARC. Lintel heights of 2380/2465mm are encouraged to accentuate verticality. Mock sliding sash and cottage pane windows are not permitted. Standardised top hung windows should be avoided with preference being given to side hung opening sections in vertical proportion. Horizontal proportioned windows will be considered as features where appropriate. Opaque or sandblasted glass is permitted for privacy concerns. No reflective films to glazing will be permitted. All glazing to conform to AAAMSA standards, SANS 10400-N, SANS 10400-XA and SANS 204 regulations.

Approved window and door systems are:

- Hardwood timber, either natural or painted – treated with timber preserve and to ensure a matt finish. Acceptable colours are Natural, White, or Charcoal.
- Powder coated aluminium, colours: White, Grey, Brown/Bronze, Charcoal or Black.
- uPVC. Acceptable colours are White or Charcoal.



**Prohibited** window and door systems are:

- Win Block windows.
- Steel windows and doors.
- Natural Anodized Aluminium.
- Decorative doors / windows

**Note:** Garage doors to be either Aluminium or Steel (Powder coated, colours: White, or Charcoal), or Timber (varnished or prepared and painted, colours: Natural, White, or Charcoal). A maximum of two single garage doors, or one double garage door is permissible facing the street, position subject to ARC approval.

## 5.6. Screens, Shutters & Awnings



Sun control and privacy shall be dealt with by means of roof overhangs, patio roofs, shutters, screens and planting, but in all cases should be simple, compliment the architecture and will be subject to ARC approval. Screens or shutters must be operable, and their materials and finish must be submitted to the ARC for approval. It is preferred that shutters are either in aluminium or timber to match the colour of window frames.

No clip-on aluminium, steel or canvas awning systems, such as carport structures may be used. Furthermore, no horizontal sliding systems will be permitted for patio or pool deck areas. All screening/shading devices must be clearly expressed on submission drawings to the ARC for scrutiny.



### 5.7. Verandahs, Balconies & Decking

The use of balconies, verandahs and decking are encouraged to promote an out-door lifestyle. All decks are to be of either Balau or Garapa.

Either fluted or smooth finished decking planks are acceptable. It is encouraged that decks on ground level, where possible, are suspended above the natural vegetation to a maximum height of 1200mm off the natural ground level. Where decks are higher than 1000 mm off the ground a balustrade will be required, as per SANS requirements.

Verandahs and balconies are to form an integral part of the design and must enhance architectural expression and soften hard edges. Strictly no patio lace/ broekie lace nor any other form of undue adornment will be accepted.

### 5.8. Balustrading

Balustrading must be incorporated where applicable to ensure conformity to the NBR, and must compliment the design. All exterior balustrades are to be either plastered and painted brick walls, treated timber, primed and painted steel (colours: White, black or Charcoal), powder coated aluminium (colours: White, black or Charcoal), or clear glass. Stainless steel balustrades

are discouraged but will be considered where appropriate. Other exterior balustrade designs and material choices which are not mentioned above will must be submitted to the ARC for scrutiny. All designs to conform to the National Building Regulations (NBR).

### 5.9. Exterior Lighting

Lighting is to be handled in a contemporary, unobtrusive way that provides suitable lighting and aesthetic conditions. Stylistic fittings such as those associated with Victorian, Edwardian, or Gregorian styles are discouraged and Registered Owners are required to use simple contemporary fittings. All exterior lighting is to be at a low level or wall mounted. Direct glare

should be avoided at all times and fixtures concealing the light source and reflect/push light down are encouraged. Energy efficient light fittings, such as compact fluorescent and LED lighting are compulsory. It is encouraged that all external fittings are on a day-night switch, whilst internal light fittings where appropriate be on motion sensors. All lighting to conform to SANS 10400-Part O.

### 5.10. House Numbering & Post Boxes

House numbers must be a minimum of 160 mm and maximum of 200 mm in height, and in stainless steel. Numbers must either be placed on the building or on the garden wall in a visible position lit at night. Post boxes at the houses will not be required; as there will be a centralised post box facility.

### 5.11. Retaining Structures



*The above is an illustration of a gabion type wall, but the height should be a maximum of 1200 mm.*



Where required, retaining walls are permitted to a maximum height of 1200mm above the natural ground level. Where retaining walls are required to be greater, this should be treated as terracing with no visible retained section being greater than 1200mm in height and must be clearly indicated on ARC submission drawings for approval. Retaining structures may be either natural stone clad brickwork or gabion walls. Retaining systems such as 'Terraforce' or 'Loffelstein' are not permitted unless structurally required, justified in writing by a competent person and subject to approval by the ARC. Where retaining walls are required, either for civil, structural or landscaping reasons, it is encouraged that retaining walls are softened with planting.

The onus is on the Registered Owner to ensure that changes of level 1000mm or greater conform to engineers' details and specifications.

## **5.12. Garages, Carports and External Stores**

It is mandatory that at least 1 single garage per unit is provided for in the Lifestyle Village, the Wedge and all Sectional Title (medium density) units) whereas it is a requirement that the Golf Course erven provide garaging for at least 2 vehicles either through the use of 2 single garage doors or one double garage door. Garaging should complement the design of the dwelling in both form and material. Further to the above garaging requirements, it is mandatory to provide at least 1 open hard surface space for parked vehicles. No prefabricated garaging units are permitted.

Carports will be permitted but must be sensitively treated and must relate to the design as a whole. Use of pergola's, sheet metal roofing consistent with the dwelling, concrete flat roofs or timber on steel supports or brickwork will be considered by the ARC, subject to approval. Prefabricated, shade cloth, tensile or awning type carports will not be permitted.

## **5.13. Driveways and Walkways**

All driveways, parking areas and paved areas must be kept to a minimum. All paving should be either red, or charcoal bevel edged pavers.

## **5.14. Refuse**

Proper provision shall be made for the storage of household refuse at each house, and must be concealed.

## **5.15. Kitchen Yards**

An external yard area is permitted to be enclosed by walling within the boundary foot print. This should be attached to the building and lead off either kitchens, scullery's or garages and must be completely enclosed with a solid brick plastered and painted wall at 1800mm high. All kitchen yards must have access to and from the street. The yard space is to house all refuse bins, washing lines, gas cylinders, heat pumps and the like.

## **5.16. Boundary Walls**

Boundary walls enclosing the entire erf are strictly prohibited. Whilst it is encouraged that the properties are kept open to the Estate, to promote an open and soft environment, boundary enclosure will be accepted to a limited extent.

### **5.16.1 Lifestyle Village and Golf Course Erven that do not have the golf course Interface**

**Street boundary** – low screen plastered and painted solid brick walls to a maximum of 1200mm high or alternatively a 1800mm high brick wall with columns and vertical railing infill panels (galvanised mild steel), to be constructed as per NBR (for privacy).

**Lateral/side boundary** – low screen plastered and painted solid brick walls to a maximum of 1200 high or alternatively a 1800mm high solid brick wall to a maximum length of two thirds of the lateral boundaries taken from the street boundary, walls to be constructed as per NBR (for privacy and drying yards). A combination is acceptable.



**Rear boundary** – low screen plastered and painted solid brick walls to a maximum of 1200mm high.

**(Refer to permissible walling options below)**

#### 5.16.2 Golf Course Erven

**Street boundary** – low screen plastered and painted solid brick walls to a maximum of 1200mm high or alternatively a 1800mm high brick wall with columns and vertical railing infill panels (galvanised mild steel), to be constructed as per NBR (for privacy).

**Lateral/side boundary** – low screen plastered and painted solid brick walls to a maximum of 1200mm high or alternatively a 1800mm high solid wall to a maximum length of two-thirds of the lateral boundaries taken from the street boundary, walls to be constructed as per NBR (for privacy and drying yards). A combination is acceptable.

**Golf course interface** – Home Owners are required to incorporate low-level landscaping to ensure a 'soft' edge is maintained between the golf course and individual dwellings. The only permitted fencing on the golf course side shall be max. 1200mm high 'Clear-Vu' or similar approved, preferably inclusive of a hedge.

**(Refer to permissible walling options below).**

**NOTE:** Where possible landscape with vegetation, in the form of hedges or with 'Clear-Vu' or both.

#### **Permissible walling options:**

- 1) White PVC type picket fencing (design subject to approval by the ARC).
- 2) Plastered and painted solid brick wall, 1200mm high as per NBR.
- 3) Gabion stone walling as per NBR.

4) Solid brick wall with natural dry-packed stone cladding (samples to be submitted to ARC) as per NBR

5) 'Clear-Vu' or similar approved to a height of 1200mm. Colour either black or charcoal.

All boundary walls will be subject to ARC approval and must be indicated on the plans in detail.

### 5.17. Swimming Pools and Jacuzzis

#### **Swimming pools:**

Swimming pools are permissible subject to approval of the ARC. All pools are to be positioned a minimum of 1m away from any external dwelling wall and to be within building lines. The Registered Owner and his appointed professionals are to ensure all safety requirements set out in the NBR are met, including the provision of swimming pool enclosure walls or fencing at 1200mm high with access by means of suitable self-closing and self-locking gates. Such fencing alternatives must be clearly indicated on submission plans and subject to approval from the ARC.

All pool pumps and filtration systems should be concealed from view.

#### **Portable pools:**

Portable pools will not be permitted.

#### **Jacuzzis**

Jacuzzis are permissible subject to approval of the ARC. All jacuzzis are to be positioned a minimum of 1m away from any external dwelling wall and to be within building lines. The Jacuzzi is to be clad in either Balau, Garapa or packed stone, cladding to be indicated on submission plans and subject to approval from the ARC. The Registered Owner and his appointed professionals are to ensure all safety requirements set out in the NBR are met, including the provision of enclosure walls or fencing at 1200mm high with access through the means of suitable self-closing gates. Such fencing



alternatives must be clearly indicated on submission plans and subject to approval from the ARC.

### 5.18. Security Treatment

As the WVGCE is a secure Estate with permanent on-site security provided, the opportunity is available to promote freedom within the architectural context. Registered Owners insistent on burglar proofing should make consideration of such at the design stage and should form an integral part of the building design. Only internal burglar proofing will be permitted which must remain simple and coloured to match the fenestration. Other acceptable forms of security measures include alarm systems and armed response. External perimeter beams and CCTV cameras will be the only form external security measures deemed acceptable with the consent of the ARC.

The following forms of external security treatment are prohibited:

- Razor and Barbed wire.
- Boundary wall spikes.
- Motion sensing spot lights.
- External burglar bars/cages.
- 'Trellidor' or similar retractable security barriers or doors.
- 

### 5.19. Electrical Usage

The Estate subscribes to the concept of energy efficiency and therefore certain energy efficient measures are encouraged. Where applicable such energy efficient measures are to be in strict accordance with SANS 10400: Part X as well as SANS 204. The following measures are suggested to achieve this goal:

- All water heating is to be achieved through the use of either heat pumps or solar water heaters (flat panels only). Where solar heaters are used a standby electrical heater element, with a time

switch or load control relay must be incorporated so that the electrical heater is only used during off peak periods.

- Insulation within ceilings is mandatory.
- The use of gas hobs is preferred.
- The use of energy efficient lamps, such as compact fluorescent and LED.
- The use of daylight sensors for outside lighting.
- The use of dimmers to reduce lighting in areas when not in full use.
- Air conditioning plants should be energy efficient.
- Maximum use is to be made of natural lighting, heating and cooling of the building through passive design principals. In this regard it is compulsory that all ceiling spaces be provided with a layer of thermal insulation material.
- Adoption of photovoltaic cells sensitively integrated into the design (subject to ARC approval).
- Hot water pipes are lagged with insulation material and that low flow shower heads be used.

It should be noted that energy conservation/efficiency occupies a high priority rating on the **Estate** and all energy saving elements, such as solar panels, etc., must form an aesthetically pleasing part of the elevation design or be hidden accordingly.

### 5.20. External Services

All external services which includes the likes of sewerage and plumbing pipes, heap pumps, air-conditioning condenser units, gas cylinders/housings, pumps, satellite dishes, television aerials or similar must be concealed from view either by positioning within ducts, drying yard areas or careful planning. It is mandatory that all plumbing is placed within ducts. Stub stacks of less than 1 m above natural ground level may



be left exposed but must be painted to match wall colours. Geysers are to be placed within roof voids or on concrete flat roofs but must remain completely concealed from view. Where necessary, carefully designed screening element complimentary to the design of the house will be considered by the ARC. All services are to be clearly indicated on submission drawings for scrutiny by the ARC.

TV aerals and dishes to be mounted below eave or barge board levels. The top of dishes or aerals may not exceed above the gutter or the top of the barge board.

### 5.21. Site Drainage

Each erf is responsible for its individual stormwater management and therefore all stormwater from roads, paved areas, roofs and swimming pools is to be carefully directed into the landscaped areas or internal stormwater systems as required by the local authority. Provision of controlled stormwater run-off must be provided for, to avoid damage to the site, neighbouring properties and the Estate at large. It is encouraged that stormwater displacement is consistent with the natural fall of the site and is channelled away from buildings towards the internal streetscapes or POS. Areas of potential damming or areas susceptible to erosion should be adequately dealt with to the satisfaction of the ARC. Stormwater design and detailing should be carried out by a competent person appointed by the Registered Owner and must be clearly indicated on a diagrammatic stormwater layout on the site plan for all submissions to the ARC. Stormwater may not be concentrated onto neighbouring properties, but should be spread, with various outlets across boundaries or through yard walls towards the street or the POS.

### 5.22. Sustainability Measures

Incorporation of sustainable measures, whether passive or active, are encouraged. Where possible, such mechanisms may be incorporated as design elements to promote an awareness of such, but must remain sensitive to the design and surrounding environments and will be subject to ARC review.

The harvesting of grey water is acceptable, however, under no circumstance shall any grey water be permitted to enter any dams or waterways on the estate.

As mentioned earlier, low-flow Technology such as low flush toilets should be used to reduce potential water consumption and waste water loading of the sanitation system.

Solar panels are permitted, however they are to be concealed wherever possible or integrated into the design of the dwelling in an aesthetically pleasing manner. Solar panels are subject to approval by the ARC. All products are to comply with the national building regulations.

Any alternative sustainable measure intended for use must be brought to the attention of the ARC for scrutiny and approval.

## 6. SERVICES

All external services which include sewerage and plumbing pipes, heat pumps, air-conditioning condenser units, gas cylinders/housing, pumps, satellite dishes, television aerals or similar must be concealed from view either by positioning within ducts, drying yard areas or careful planning. See 5.20 above for plumbing requirements. Geysers are to be placed within roof voids or on concrete flat roofs but must remain completely concealed from view. Where necessary, carefully designed screening element complimentary to the design of the house will be considered by the ARC.



All services to be clearly indicated on submission drawings for scrutiny by the ARC.

It is mandatory for Registered Owners to provide 2 x 110 diameter HDPE sleeves underneath the entire street verge driveways and walkways of their property to facilitate any future services and to mitigate inconvenience to Registered Owners.

#### **Structure and Foundation:**

The services of a Structural Engineer will be required for the structural design of multi storey houses and retaining walls. Trial holes to Engineer's requirements are to be made and proper geo-technical tests conducted to determine the bearing capacity of the sub-strata. An Engineer's design/report is to accompany the building plans submission to the ARC and Local Authority.

#### **Stormwater and Civil:**

Indication should be given on the submission drawings regarding the allowance for stormwater drainage on each site. The drawing should indicate the route of the rainwater discharge for approval by the ARC. All is to be piped or channelled onto the driveway where possible. No rainwater discharge piping will be allowed to be installed into road curbing. Each erf must adhere to the development stormwater management system or layout. No water may discharge directly onto the golf course and/or neighbouring properties.

Downpipes can discharge into 'raindrains' connected underground to a 110mm dia. uPVC pipe to discharge into the stormwater drains or into the natural 'sloot'.

## **7. GENERAL REQUIREMENTS**

It is important that the entire development reads as a whole. The success and progressive development of the Estate lies in the application of these guidelines by the individual Registered Owner and developer, prior to development, during construction and after occupation takes place. The following requirements and restrictions are intended to highlight the responsibilities of the Registered Owner and developer to ensure the integrity of the Estate for the HOA, the Registered Owner and other residents.

### **7.1. General Requirements Pre-Development**

Registered Owners are requested to familiarise themselves with the modus operandi of the Estate and the ambits of the various role players to ensure the process is transparent and stress free. Cognisance should be taken of the following before commencing with development:

- The Registered Owner is to ensure that all available information regarding the development and management of the Estate are received from the agent or WVGCE website, and that such is familiarised and understood. The Contractor's Rules and Regulations (CRR) need to be adhered to at all times.
- That all agreements of sale and necessary transfers are in order before commencement of works on site.
- A professional land surveyor is appointed to identify pegs/beacons on site as well as conduct a detailed survey of the site which is to include contours at 500mm intervals as well as any distinguishing site features such as outcrops and vegetation. The scope of the land surveyor's appointment should include the accurate setting out of buildings on site before excavation and establishment take place.



- All professional persons required (such as surveyors, architects, structural engineers, civil engineers, contractors, etc.) to execute the development are suitably appointed, and meet requirements set out in the design guidelines.
- Understands all associated costs applicable to the Registered Owner for the development, such as agent's commissions, professional fees, ARC scrutiny fees, municipal scrutiny fees, NHBRC enrolments, construction deposits, etc.

## 7.2 Construction Site Boards.

Registered Owners are to ensure the main Contractor erects a construction site notification board on the street facing boundary of the site, strictly conforming to the Estate specifications as outlined in the Estate Construction Site Board details.

## 7.3 General Requirements After Occupation.

It is paramount that the Estate reads holistically and therefore, Registered Owners are requested to adhere to basic requirements in conjunction with the House Rules which fall outside the scope of the architectural aspect of these guidelines. The following prohibitions are to be adhered to:

- All fireplaces or braais to be sited within individual development footprints of each property (disturbed area) and no fireplaces nor braais will be permitted outside of this area.
- No fires are allowed whatsoever except in purpose-built fireplaces or braais and with the exception of controlled bush clearing conducted by the HOA.
- No temporary structures such as timber outbuildings or tented structures will be permitted under any circumstance.
- All rock features, concrete statues, pots and water features visible from the road are to be approved by the ARC

- Gas cylinders and all other service elements on external walls must be concealed.
- All telephone feeds to a house must be laid underground.
- All buildings must be maintained in a good condition and retain its original aesthetic appearance and paintwork.
- All alteration and additions work are subject to scrutiny by the ARC
- No livestock or poultry will be allowed to be kept on any property.
- Household pets are to be made known and approved by the HOA.
- Noise pollution is to be controlled and mitigated.
- No servicing of vehicles will be permitted in driveways.

## 8. LANDSCAPING REQUIREMENTS

All landscaping is to be done in accordance with the Wedgewood Landscaping Guidelines. The natural vegetation shall be disturbed as little as possible and protected species of trees shall not be removed. If the removal of protected trees is necessary for proper utilization of the site, a specialist must be consulted. Protected plants and trees can be removed only once written approval of the Department of Environmental Affairs has been obtained. Indigenous vegetation must be properly screened off, where possible, during the construction stage.

A list of recommended plant species is available to Registered Owners as set out in the Landscape Guidelines. It is encouraged that all new planting shall be an indigenous species from the approved plant material listed in the Landscape Guidelines. A mix of 75% indigenous to 25% alien planting will be allowed at the discretion of the HOA.

Landscaping of the verge, is to be indicated on the site plan, for ARC approval.



## 9. BUILDERS CODE OF CONDUCT

The onus lies with the Registered Owner to ensure the appointed Main Contractor strictly adheres to the Contractors Rules and Regulations (CRR) at all times. A signed copy of the Contractors Rules and Regulations is to be submitted with the application for plan approval. All Contractors are to have a current registered certificate from the MBA and the NHBRC. A copy is to be submitted to the Estate Manager, prior to the commencement of work on site.

## 10. CONCLUSION

All conditions and limitations contained within this document are to be considered in addition to any existing conditions and regulations set by the local authority and/or any other relevant body. All required regulations within this document are to be conformed to and any diversion thereof shall be at the sole discretion of the HOA as well as the ARC.

The ARC shall not be liable for the correctness of any part of any project contained within the development beyond the parameters set in this document. It is not the responsibility of the ARC to assume compliance to any regulations set by a third party. Furthermore, the ARC approval shall not be construed as permitting any contravention of restrictions imposed by the local authority having legal jurisdiction. It should also be noted that the ARC is not to assume the responsibility of checking compliance to the National Building Regulations (NBR) for any submission.

The overall integration of the building(s) into the surrounding natural and built context and any other aesthetic considerations that might jeopardize the architectural integrity of the development remains open for scrutiny

and is subject to changes requested by the ARC, but is subject to HOA approval.

Any changes to existing or new structures on site are to be submitted to the ARC for scrutiny and are subject to HOA approval.

## 11. ADDENDUMS

### Documents:

|               |   |                                                       |
|---------------|---|-------------------------------------------------------|
| <b>WDM 01</b> | - | <b>Architectural Guidelines</b> Rev. E04              |
| <b>WDM 02</b> | - | <b>Landscape Guidelines</b> Rev. E01                  |
| <b>WDM 03</b> | - | <b>Contractors Rules and Regulations</b> Rev.E01      |
| <b>WDM 04</b> | - | <b>Utilities Guideline</b> Rev. E00                   |
| <b>WDM 05</b> | - | <b>Articles of Association</b> Rev. E00               |
| <b>WDM 06</b> | - | <b>House Rules</b> Rev. E01                           |
| <b>WDM 07</b> | - | <b>Environmental Impact Assessment (EIA)</b> Rev. E00 |
| <b>WDM 08</b> | - | <b>Record of Decision</b> Rev. E00                    |
| <b>WDM 09</b> | - | <b>Environmental Management Plan (EMP)</b> Rev.E00    |
| <b>WDM 10</b> | - | <b>Construction Sign Board</b> Rev. E00               |
| <b>WDM 11</b> | - | <b>Estate Architect's Contact Details</b> Rev. E00    |



**WDM 12** - **NMBM Town Planning Amendment 5620** Rev. E00

**Annexures:**

**WEA 01** - **Estate plans** Rev. E00

**WEA 02** - **Survey Diagrams** Rev. E00

**WEA 03** - **Paint Colour Chart** Rev. E01

**WEA 04** - **Estate Construction Checklist** Rev. E00

**WEA 05** - **Estate Landscape Plan** Rev. E00

**WEA 06** - **Fines Related to Contractors** Rev. E00

**Forms:**

**WEF 01** - **Architect's Application Form** Rev.E00

**WEF 02** - **Contractor's Application Form** Rev.E00

**WEF 03** - **Deviation from AG Form** Rev.E01

**WEF 04** - **NMBM Submission Forms** Rev.E01

