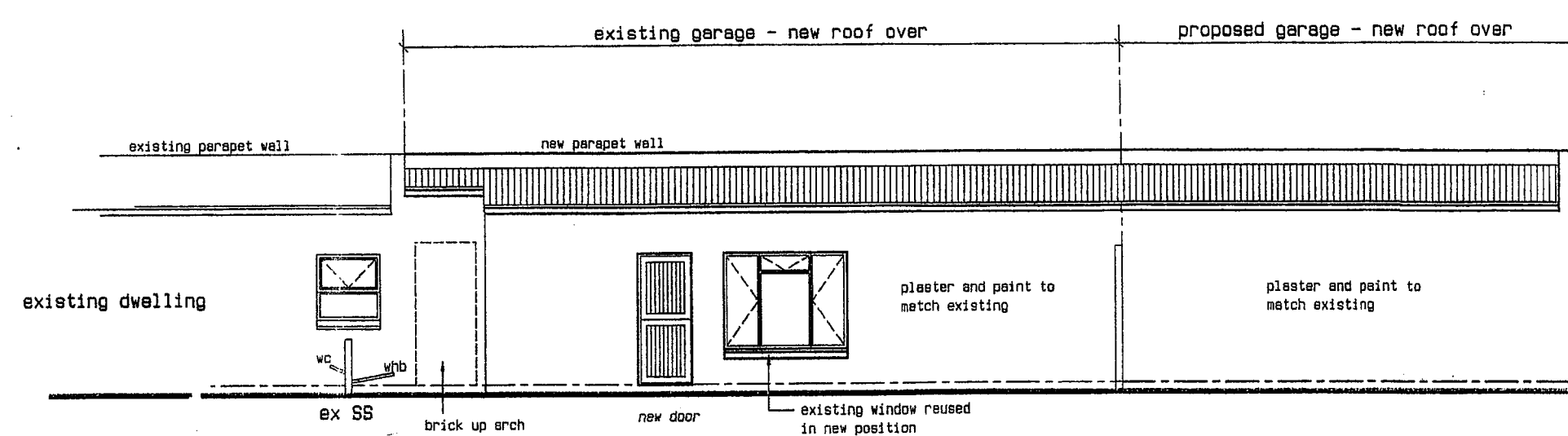
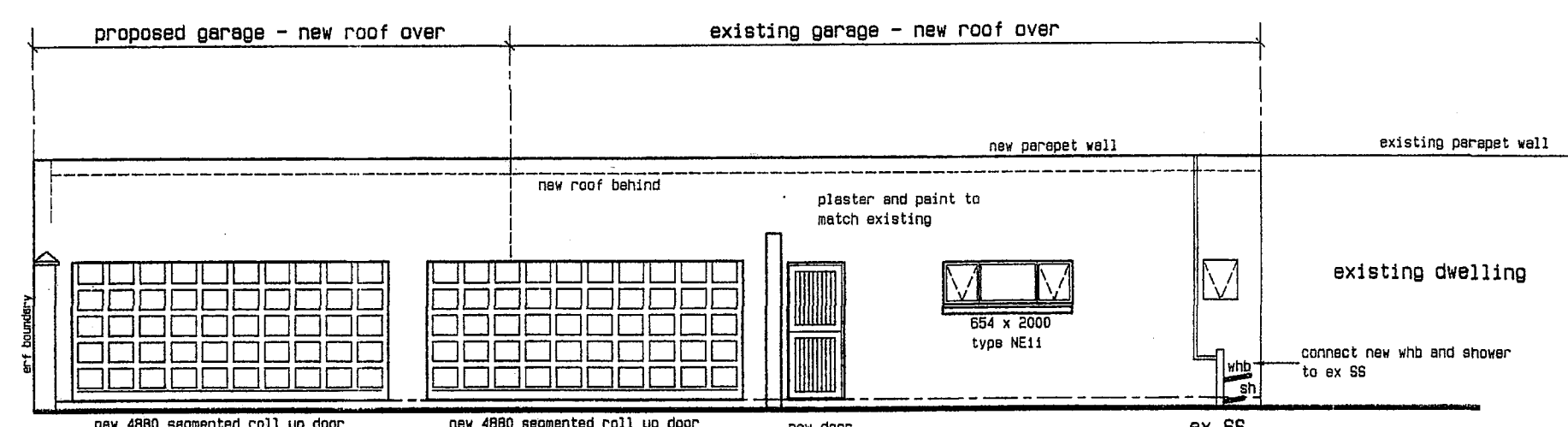
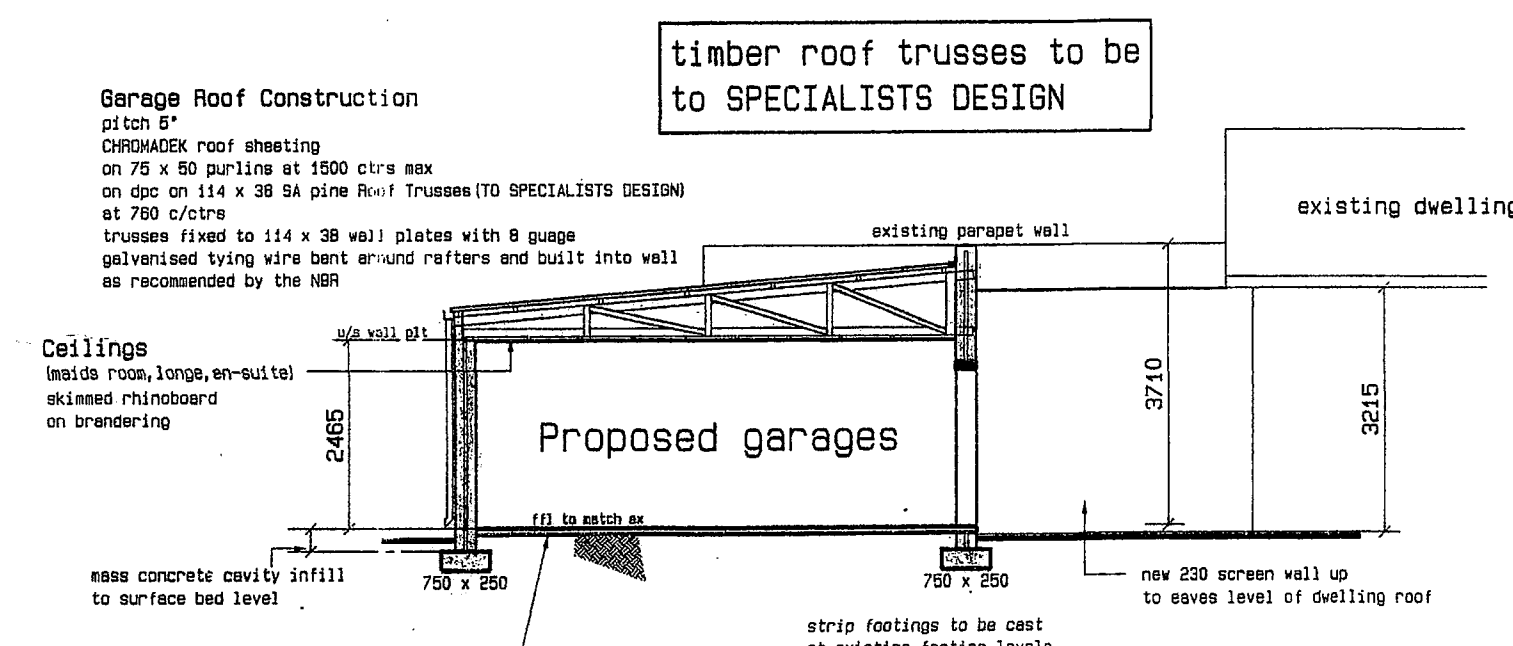




West Elevation



Elevation on A - A



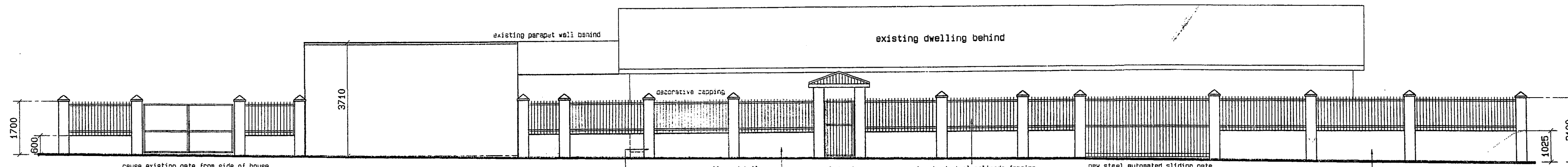
Section B - B

contractor note
internal walls not to be built off existing surface bed
110 walls - 500 x 200 strip footing
230 walls - 850 x 250 strip footing

Floor and Site Plan

ERF 15
Sunridge Park

No 10 TULIP AVENUE



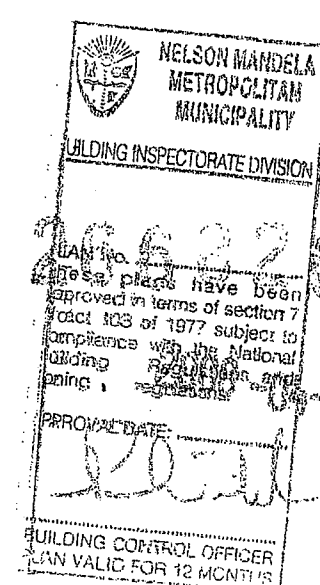
South Elevation

General Notes

- 1) All work to be carried out in strict accordance with NBR 9485 0400
- 2) All finishes to match existing unless shown or specified otherwise
- 3) All dimensions to be confirmed on site where indicated or read from drawing. No scaling of dimensions is permitted.
- 4) Owner and architect to be notified of any discrepancies
- 5) All new work indicated on this drawing is of an architectural nature only. All structural implications are to be fully investigated by a registered PROFESSIONAL ENGINEER appointed by the registered owner of the property specifically for this purpose

Specifications

- DOORS AND WINDOWS**
galv steel windows to match existing
to owners specifications
exterior doors
Meranti type
WALLS
external and internal
stock brick, smooth cement plaster and paint to match existing
ELECTRICAL
plug points, ceiling lights and/or downlights,
switches etc to owners specifications



Floor Areas - SQ.M

Proposed Garage	- 51
Existing Dwelling	- 339
Total	- 390
ERF 15	- 2321 sq metres
COVERAGE	- 18,8 % (390 sq.m)
NEW BATHROOMS	- NIL
NEW GARAGES	- 2

Owners Signature
27/02/2008
Draftsman Signature
P.A. SOBER
SACAPSA Reg No - D2271

DETAIL SOLUTIONS

For detailing and design of all Architectural,
Structural Steel, Reinforced Concrete and related services
3 Sunridge Park drive
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Port Elizabeth
6045

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Cell - 072 125 9097
Email - deta@detail.co.za

Proposed Additions to
Existing Dwelling
on ERF 15, 10 TULIP AVENUE
Sunridge Park
For MR. E. H. DELL