

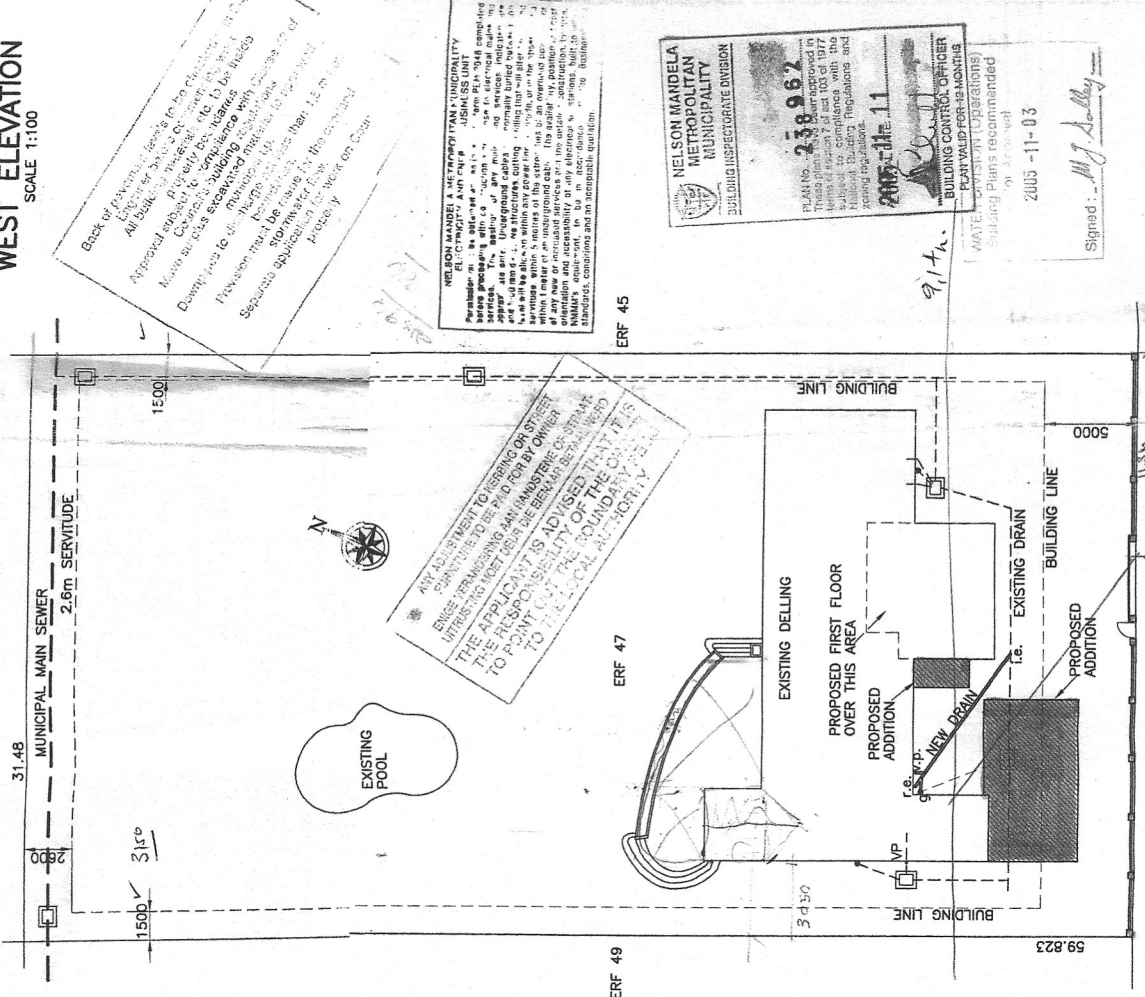
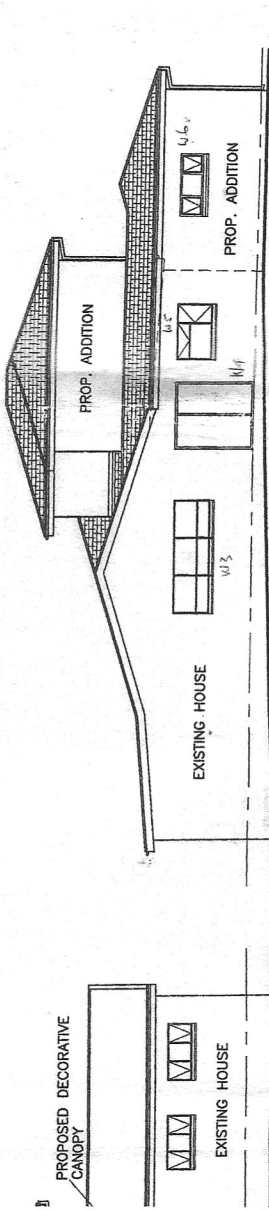
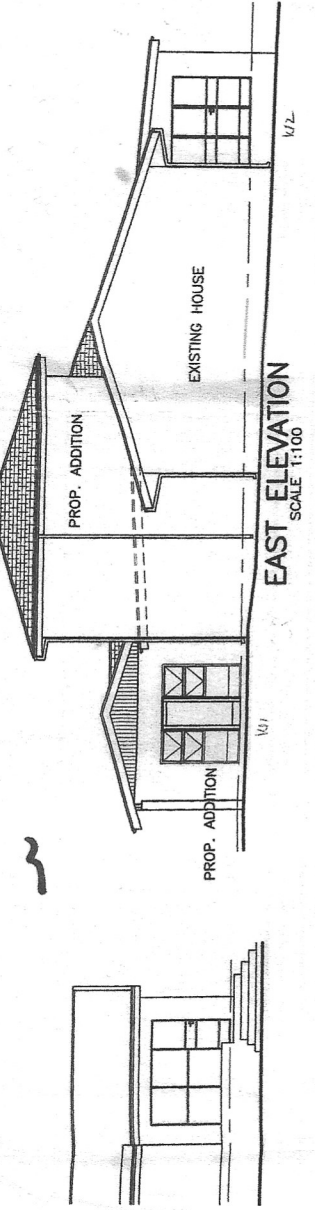
GENERAL:
1) THE CONTRACTOR MUST CHECK ALL DIMENSIONS AND LEVELS BEFORE ANY WORK IS STARTED.
ALL WORK MUST COMPLY WITH THE STANDARD BUILDING REGULATIONS.
2) a. ERF No. 47
b. AREA OF ERF = 1883.22 m²
c. AREA OF EXIST. BUILDINGS = 272.0 m²
d. AREA OF CAR PORT TO BE DEMOLISHED = 23.5 m²
e. AREA OF PROP. ADDITIONS (G.FLOOR) = 48.3 m²
f. AREA OF PROP. ADDITIONS (F.FLOOR) = 48.07 m²
g. TOTAL AREA = 296.8 m²
h. TOTAL COVERAGE = 15.76 %
i. GARAGES = No. 2
j. BATHROOMS = No. 3

3) 250 x 600 MASS CONCRETE STRIP FOUNDATIONS (15 MPa)
4) FLOOR COVERING AS SHOWN ON 25 mm SCREED ON 85 mm CONCRETE SURFACE BED ON COMPACTED SELECTED HARD CORE FILL.
5) 76 x 19 mm SKIRTINGS AND 19 mm QUADRANTS.
6) 150 x 10 mm F.C. WINDOW CILLS INSIDE, AND BRICK-ON-EDGE OUTSIDE. PROVIDE D.P.C. UNDER CILLS OUTSIDE.
7) PLASTER AND PAINT WITH UNDER COAT AND 2 LAYERS P.V.A. FINISH INSIDE.
8) PLASTER AND PAINT TO MATCH EXISTING OUTSIDE.
9) 150 x 150 mm GLAZED WALL TILES IN BATH ROOMS, TOILETS, AND KITCHEN AS PER OWNER'S SELECTION.
10) 38 x 115 mm S.A. PINE WALL PLATES.
11) GYPSUM CEILINGS, CORNICES AND COVER STRIPS ON 38 x 38 mm BRANDING, MAX. 450 mm CRS.
12) GANGNAIL: ROOF TRUSSES BY SPECIALISTS ON WALL PLATES TIED DOWN BY 8 # ANCHORS MIN. 8 COURSES DOWN INTO WALL. MAX. 750 mm CRS.
13) SLOPE = 17.5 DEG.
14) CONCRETE ROOF TILES ON 38 x 38 mm BATTEN TO MANUFACTURER'S SPECIFICATION.
15) ON 'SALVATION' INSULATION (TO MATCH EXIS) 14) 210 x 10 mm F.C. FACIA AND GUTTERS WITH R.W.P. AS SHOWN TO MATCH EXIS.
16) GALV. SHEET FLASHING AND COUNTER FLASHING AS REQ.
17) 375 MICRON D.P.C.

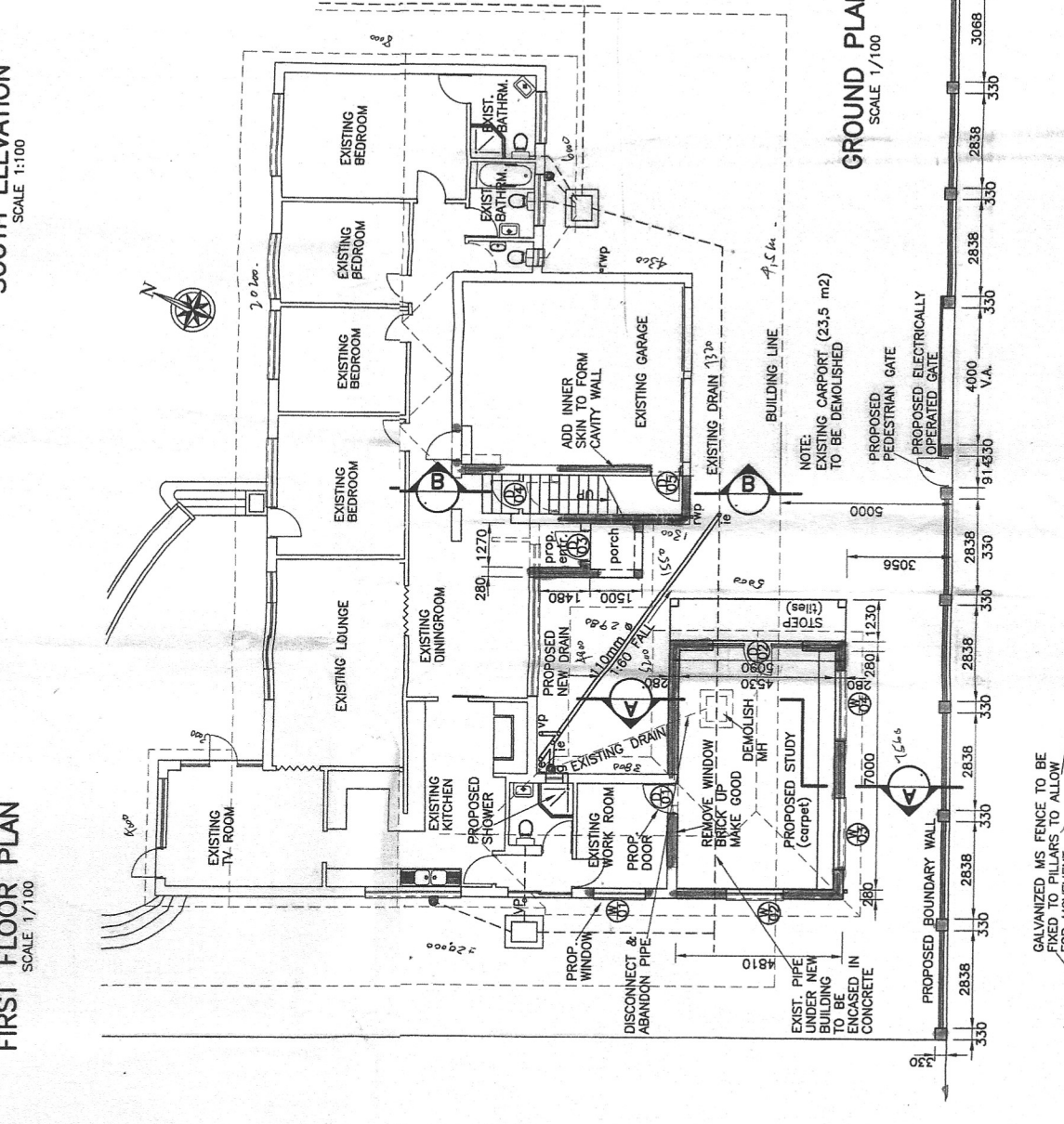
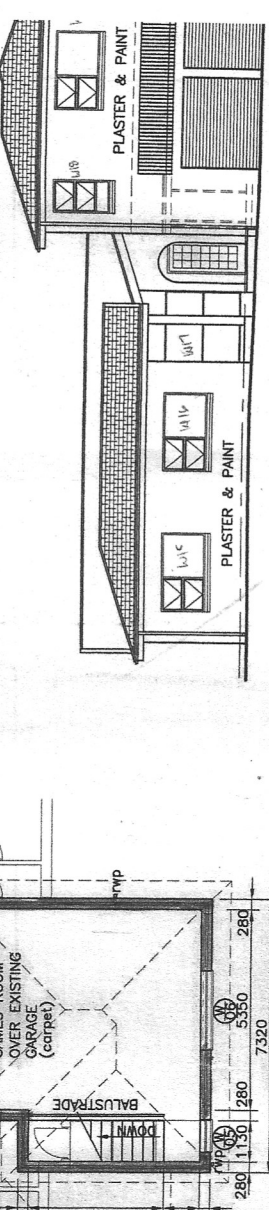
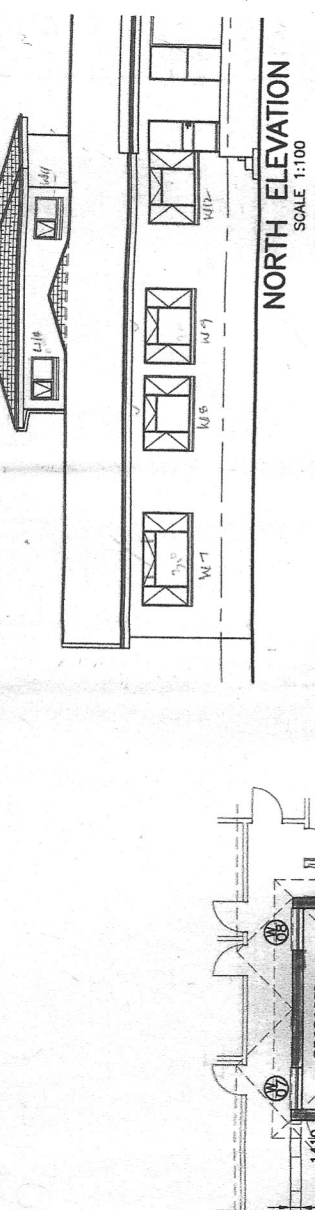
ELECTRICAL SYMBOLS:
WALL SWITCH
20 M DOUBLE FLUORESCENT LIGHT
15 AMP. POWER SOCKET
STOVE/OVEN CONNECTION
CEILING LIGHT
WALL BRACKET
210 LIT. MEGALLO GEYSER
ELECT. DIST. BOARD
METER BOARD
DRAUGHTSMAN:
J.D.B.R.T.
18 BUNTING CRES.
COTSWOLD EXT.
PORT ELIZABETH
TEL: (041) 3642763
CELL: 082 6972591
PROJECT
PROPOSED ALTERATIONS AND ADDITIONS FOR MR. & MRS. R. FOURIE ON ERF 47 50 TULIP AVE. SUNRIDGE PARK PORT ELIZABETH
PROFE

DESCRIPTION
GROUND PLAN, FIRST FLOOR ELEVATIONS AND SITE PLAN
BESKRYWING
ELEVATIONS AND SITE PLAN
SCALE
AS SHOWN
DATE
2005-07-25
DRAWING No.
P2005-10 sht 1
TEKENING No.

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50 TULIP AVE.
SITE PLAN
SCALE 1:200
CITY ELECTRICAL ENGINEER'S DEPARTMENT
PORT ELIZABETH - PLAN APPROVED
The provided is in accordance with the requirements of the City Engineer at no cost to the client.



ELEVATION
SCALE 1/100
NOTE: 12mm Ø MS BAR TO BE PLACED AT CENTRE OF EACH PILLAR FROM TOP AND HOOKED INTO FOUNDATION. CENTRE OF PILLARS TO BE FILLED WITH CONCRETE.
GALVANIZED MS FENCE TO BE FIXED TO PILLARS TO ALLOW FOR MOVEMENT
250x600mm WIDE CONCRETE STRIP FOUNDATION