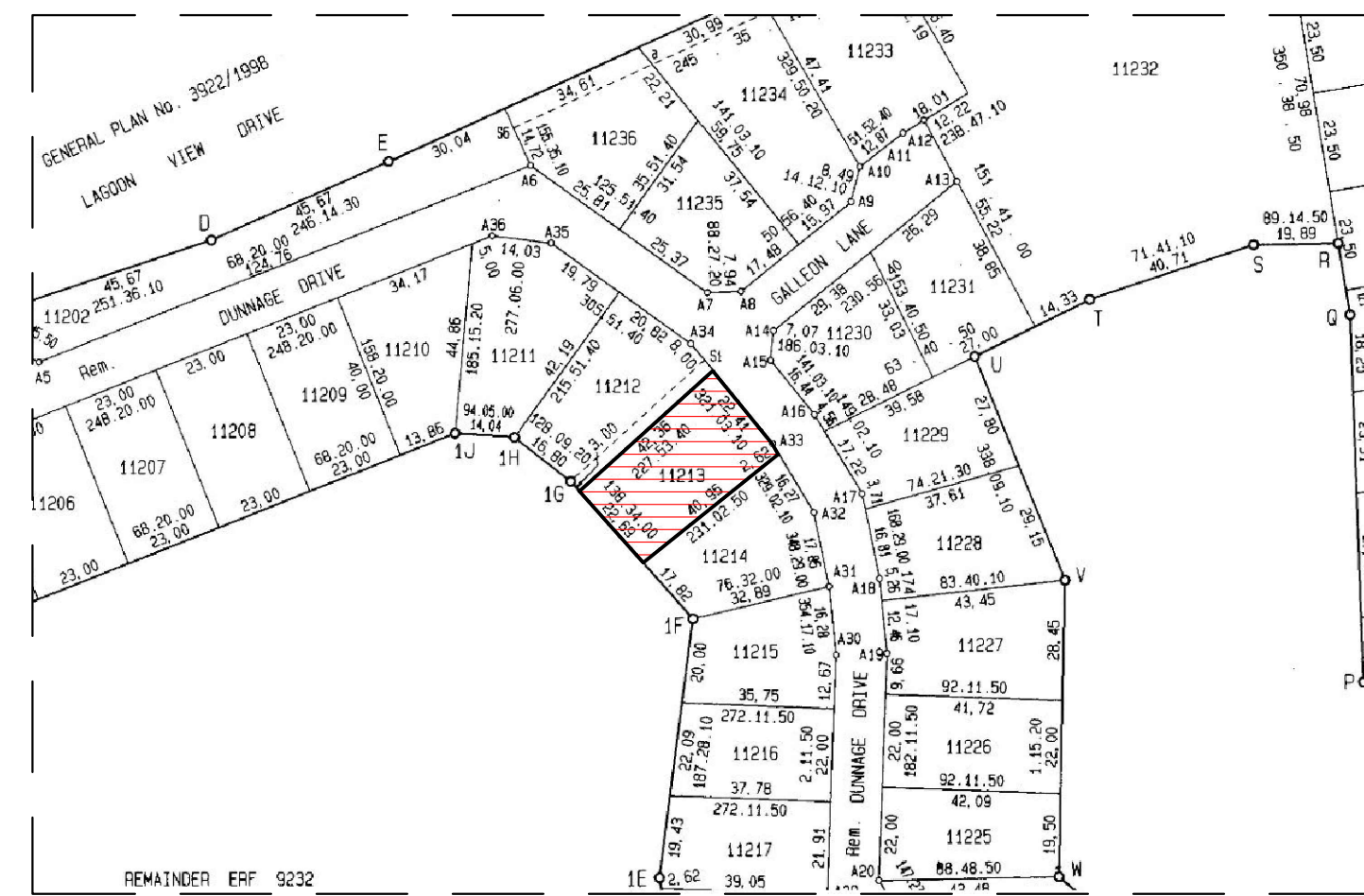
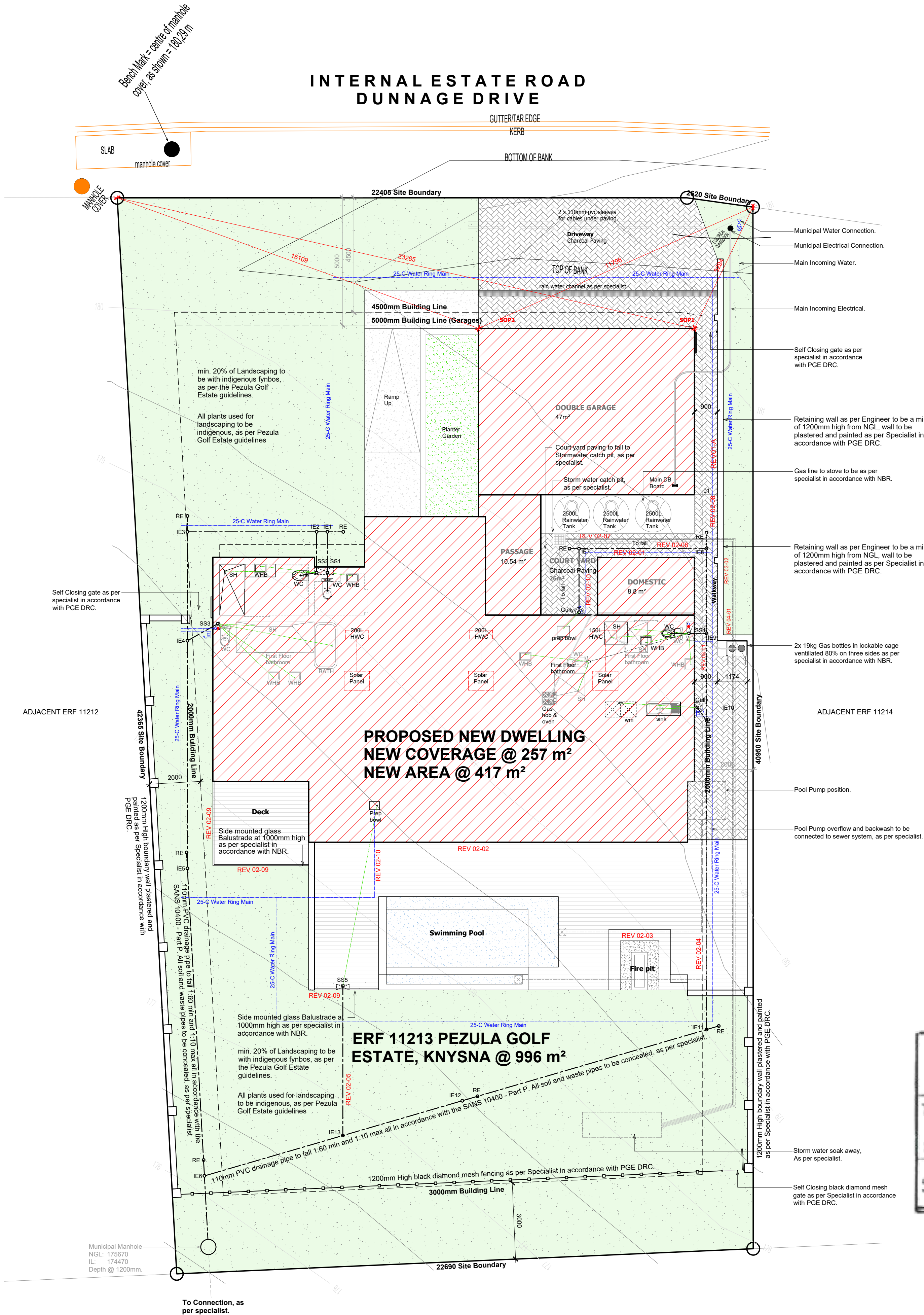




- NOTE:
- All external finishes to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA

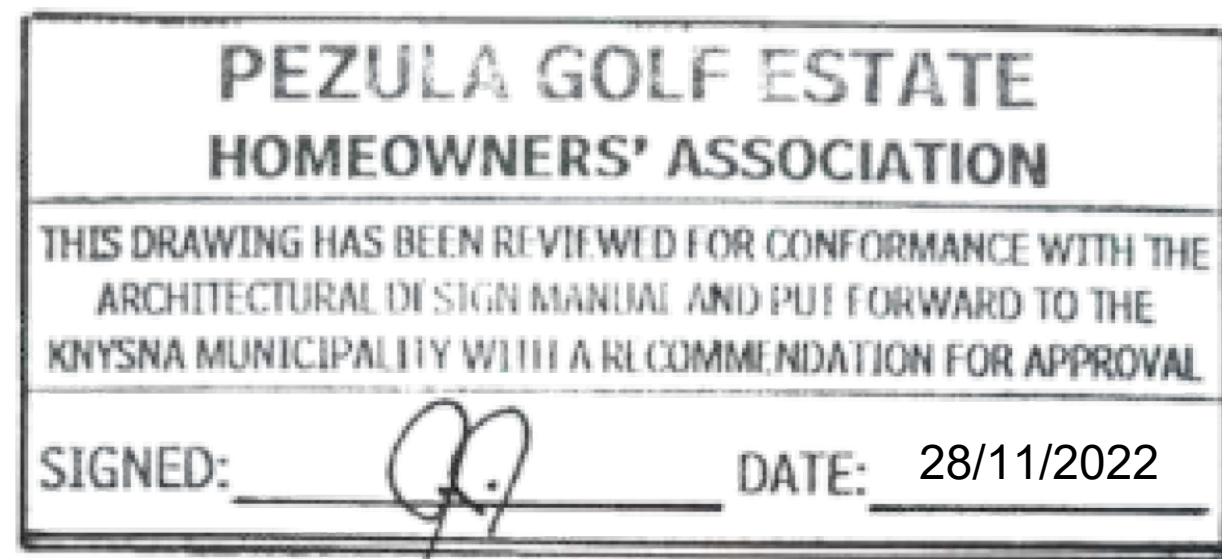
WATER RETICULATION LEGEND

	proposed cold water source point, plumber to tap into existing cold water pipes at this point
	proposed cold water reticulation
	proposed hot water reticulation
	proposed cold water pipe up
	proposed cold water pipe down
	proposed cold water stopcock
	proposed hot water stopcock
	proposed cold tap
	proposed hot tap
	external mounted heat pump as per specialist
	solar geyser on roof with geyser in the ceiling space as per specialist

APPLICATION OF SANS 10400-XA & SANS 204

ZONE 4 - CLASSIFICATION H4 / Dwelling Houses

	REQUIREMENTS	ACTUAL	In order
1	DESIGN REQUIREMENTS	Building to be orientated North/South with longest axis orientated East/West	N/A
2	UNDER SLAB INSULATION	Insulation with minimum R-value of 1.00 to be used under the floorslab where underfloor heating is used	In order
3	WALLS	Masonry walls need to achieve R-value of 0.35	In order
4.1	ROOFING - 27.5 / 15" Metal roof with horizontal ceiling	Heat flow up and the roof system needs to achieve a minimum R-value of 3.7	In order
5	PIPE INSULATION	Internal pipe diameter ≤ 80mm: Minimum R-value of 1.00	In order
6	GEYSER INSULATION	Minimum R-value of 2.00	In order
7.1	LIGHTING - Classification H4	Maximum energy demand of new areas affected	In order
7.2	MAXIMUM ANNUAL ENERGY CONSUMPTION	Maximum energy consumption of new areas affected	In order
8	FENESTRATION	Total area of the fenestration to be less than 15% of the total of the new floor area affected	In order



PEZULA GOLF ESTATE HOA

- All soil and sewer pipes to be concealed
- Pool to be backwashed to sewer
- Swimming pool approved subject to compliance with NBR and Local Authority requirements.

ELECTRICAL LEGEND

Electrical Legend

	LED Down lighter as per client specification
	Single wall mounted light switch to be mounted at 1300mm above uffi.
	Double wall mounted light switch to be mounted at 1300mm above uffi.
	Triple wall mounted light switch to be mounted at 1300mm above uffi.
	2-way wall mounted light switch to be mounted at 1300mm above uffi.
	Watertight wall mounted light switch to be mounted at 1300mm above uffi.
	Dimmer wall mounted light switch to be mounted at 1300mm above uffi.
	Double wall mounted plug, top of socket to be 1250mm above uffi.
	Double wall mounted plug, top of socket to be 300mm above uffi.
	Double wall mounted watertight plug
	Extractor connection plug @ 2100mm
	Blank conduiting boxes
	Periscope plug as per specification.
	Garage door ceiling mounted motor
	TV point aerial
	Shavers plug
	Telkom point
	Network point
	Stove isolator
	Power Skirting
	(2 x 18 W) 1500 Long 2 tube fluorescent armature with prismatic diffuser suspended from ceiling.
	5 Watt LED Down lighter as per specification
	20 Watt Compacted Fluorescent pendant light as per specification
	(5 Watt x 2) Internal LED Wall mounted light
	(10 Watt x 2) External LED Wall mounted light
	50 Watt External LED Wall mounted spotlight
	13 Watt Internal compact Fluorescent Up Lighter (wall mounted) as per client
	Starlights (wall mounted) as per client
	LED Strip Lighting
	Pool light as per client
	Foot light
	Electrical fence control box.
	Gate Control Unit
	Pre-paid Electricity meter
	Daylight sensor
	Intercom
	Intercom system.
	Alarm
	Hair dryer waterproof plug
	Main distribution board
	Sub distribution board
	Uninterruptible power supply
	Sleeve to be installed for future fibre optic installations, sleeve to be as per specialist.

REVISIONS:

REVISIONS

REV	DESCRIPTION	DATE
REV 01 - A	Stairs amended to new NGL level.	2022/10/14
REV 02 - 1	Domestic area added	2022/10/14
REV 02 - 2	Footprint of gate changed	2022/10/14
REV 02 - 3	Fire pit moved	2022/10/14
REV 02 - 4	Boundary wall changed	2022/10/14
REV 02 - 5	New drainage SSS and IE13	2022/10/14
REV 02 - 6	Drainage run amendment due to new domestic	2022/10/14
REV 02 - 7	Water harvest area moved	2022/10/14
REV 02 - 8	Site cage moved	2022/10/14
REV 02 - 9	Deck adjustments and new balustrade added	2022/10/14
REV 02 - 10	Water reticulation amended	2022/10/14
REV 03 - 01	Drainage line moved	2022/10/25
REV 03 - 02	Retaining wall moved	2022/10/25
REV 04 - 01	Gasline moved	2022/10/26

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimetres, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the clients CHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is priced it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part O. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunplast' ubi green dpm on 50mm sand blinding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gundie' 375 mic. dpc under all walls, window cills and of changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All site layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 msl of new floor level. All is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE:

NEW DWELLING ON ERF 11213,
PEZULA GOLF ESTATE, KNYSNA FOR
Mr Malcolm Isaacs

CLIENT SIGNATURE

BLACKHOUND
ARCHITECTURE & RENDERING

hannes@blackhunderenterprises.com
072 799 5597 | 072 118 6867
Unit 10, The Network, 19 Octus Rd
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

MUNICIPAL INFORMATION

ERF NO:	11213, PEZULA GOLF ESTATE
ERF AREA:	996 sqm
EXISTING AREA:	0 sqm
NEW AREA:	417 sqm
TOTAL AREA:	417 sqm
EX. COVERAGE:	0 sqm 0%
NEW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
NEW GARAGES:	1 x Double Garage
NEW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW

PROFESSIONAL SIGNOR
ARCHITECTURAL TECHNOLOGIST
JOHANNES STEPHANUS GOUWS

09 10 am (Africa/Johannesburg) on 27 Oct 2022

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PROJECT NO.: 2021_House Isaacs
DRAWING NO.: 20221027_House Isaacs_M507
DRAWN BY: DMP
PRINT DATE: 27 Oct 2022

REVISION NO.: 04
SHEET NO.: 001

- NOTE:**
- All external finishes to HOA approval.
 - All Concrete flat roofs to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA.
 - All plug positions to be confirmed on site.

REV 03-01 - A	Stairs amended to new NGL level	2022/04/07
REV 03-01 - B	Remove Floor 1 stairs	2022/04/07
REV 03-02 - A	Domestic Room created	2022/05/06
REV 03-02 - B	Domestic En-suite amended to Toilet	2022/05/06
REV 03-01 - B	Domestic Room added	2022/05/06
REV 03-02 - B	Concrete handrails with stairs moved	2022/05/06
REV 03-03	Wall added with door under flt roof	2022/05/23
REV 03-04	Door added to ensuite	2022/05/23
REV 03-05	A moved	2022/05/23
REV 03-06	Drainage on changed	2022/05/23
REV 03-07	WIM moved	2022/05/23
REV 03-08	New V-chip added	2022/05/23
REV 03-09	Stairmaster catpogt moved	2022/05/23
REV 03-10	New V-chip added	2022/05/23
REV 03-11	Columns moved	2022/05/23
REV 03-12	New bar added	2022/05/23
REV 03-13	New washroom added	2022/05/23
REV 03-14	New jacuzzi added	2022/05/23
REV 03-15	New P-H added	2022/05/23
REV 03-16	Wall removed and deck extended	2022/05/23
REV 03-17	Pool deck removed	2022/05/23
REV 04-01	Pump room added	2022/10/13
REV 04-02	Motor ahvive in domestic	2022/10/13
REV 04-03	Room for domestic	2022/10/13
REV 04-04	Panel column readjustments	2022/10/13
REV 04-05	Panel column readjustments	2022/10/13
REV 04-06	Panel skirting added	2022/10/13
REV 04-07	Water tanks and wall readjustment	2022/10/13
REV 04-08	Recessed lighting added	2022/10/13
REV 04-09	Cage cage readjustment	2022/10/13
REV 04-10	Water relocation from pump room to bar	2022/10/13
REV 04-11	Drainage wall moved	2022/10/13
REV 05-01	Disrupting time moved	2022/10/26
REV 05-02	Recessed lighting wall moved	2022/10/26
REV 06-01	Gasline and cage moved	2022/10/26

[illegible]

MUNICIPAL SUBMISSIONS

**NEW DWELLING ON ERF 11213,
EZULA GOLF ESTATE , KNYSNA FOR
Mr Malcolm Isaacs**

1

ch BLACKHOUND
ARCHITECTURE & RENDERING

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Unit 10, The Network, 19 Cactus Road
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

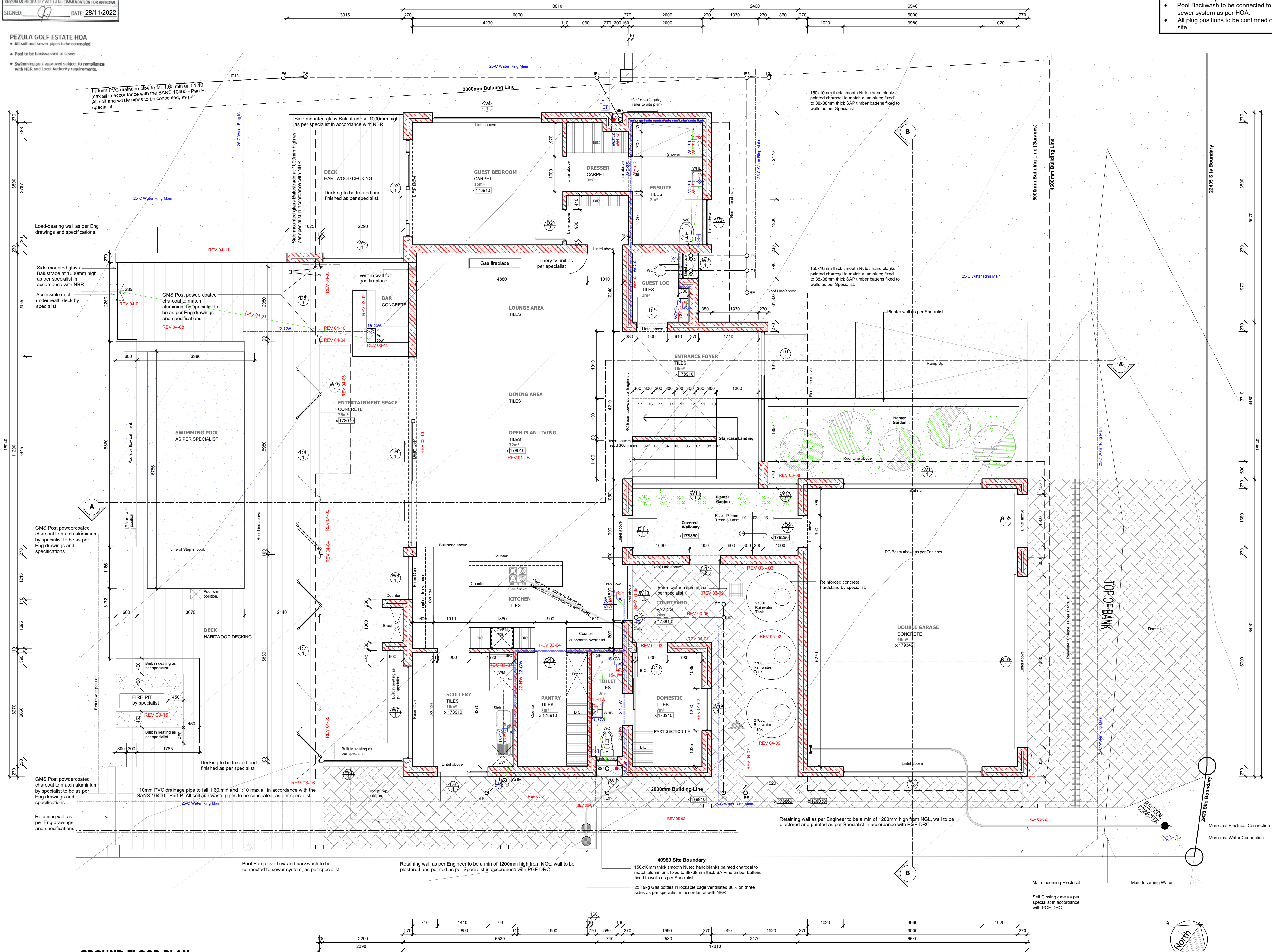
REF NO:	11213, PEZULA GOLF ESTATE
RF AREA:	996 sqm
EXISTING AREA:	0 sqm
EW AREA:	417 sqm
TOTAL AREA:	417 sqm
SEWER COVERAGE:	0 sqm 0%
EW COVERAGE:	257 sqm - 26%
SEWER COVERAGE:	257 sqm - 26%
EW GARAGES:	1 x Double Garage
EW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW


**PROFESSIONAL SENIOR
ARCHITECTURAL TECHNOLOGIST**
JOHANNES STEPHANUS GOWUS
 09:10 am (Africa/Johannesburg) on 27 Oct 2022

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PROJECT NO.: 2021_House Isaacs	REVISION NO.: 06
DRAWING NO.: 20221027_House Isaacs_MS07	SHEET NO.:

DRAWN BY:
DMP
PRINT DATE:
27 Oct 2022
PAGE SIZE:
A1



- NOTE:**
- All external finishes to HOA approval.
 - All Concrete flat roofs to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA.
 - All plug positions to be confirmed on site.

REV 01-01 - A	First Floor UFFI amended	2022/04/07
REV 02-01	New Study window added & window symbol	2022/10/14
REV 02-02	Study and dresser wall changed	2022/10/14
REV 02-03	Firn place changed	2022/10/14
REV 02-04	D131 wall changed	2022/10/14
REV 02-05	Wall changed due to D131 wall change	2022/10/14
REV 02-06	Dresser RUC changed / New counter	2022/10/14
REV 02-07	Wall changed	2022/10/14
REV 02-08	Study card changed	2022/10/14
REV 02-08	Updated area and floor finishes	2022/10/14
REV 03-08	New straight added & window symbol	2022/10/14
REV 03-10	D131 wall changed	2022/10/14
REV 03-11	D131 wall changed	2022/10/14
REV 03-12	New dimensions added (in red)	2022/10/14
REV 03-13	Added domestic rooms	2022/10/14
REV 03-14	Deck and boundary wall adjustments	2022/10/14
REV 03-15	Fair air moved	2022/10/14
REV 03-16	Water tanks moved	2022/10/14
REV 03-17	Removed wall and relocated gas cage	2022/10/14
REV 03-18	Lean-to roof added	2022/10/14
REV 03-01	Boundary wall revisited	2022/10/20
REV 04-01	Gas line and cage moved	2022/10/26

[illegible]

MUNICIPAL SUBMISSIONS

**NEW DWELLING ON ERF 11213,
MEZULA GOLF ESTATE , KNYSNA FOR
Mr Malcolm Isagcs**

BLACKHOUND
ARCHITECTURE & RENDERING

 hannes@blackhoundenterprises.com
072 799 9597 | 072 418 6867
Unit 10, The Network, 19 Cactus Road
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

REF NO:	11213, PEZULA GOLF ESTATE
RF AREA:	996 sqm
EXISTING AREA:	0 sqm
EW AREA:	417 sqm
TOTAL AREA:	417 sqm
COV. COVERAGE:	0 sqm 0%
EW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
EW GARAGES:	1 x Double Garage
EW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW



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PRINT DATE:
07.01.02

10

10

@161m²

SCALE 1:50

**PEZULA GOLF ESTATE
HOMEOWNERS' ASSOCIATION**

THIS DRAWING HAS BEEN REVIEWED FOR CONFORMANCE WITH THE
ARCHITECTURAL DESIGN MANUAL AND PUT FORWARD TO THE
KNYSNA MUNICIPALITY WITH A RECOMMENDATION FOR APPROVAL

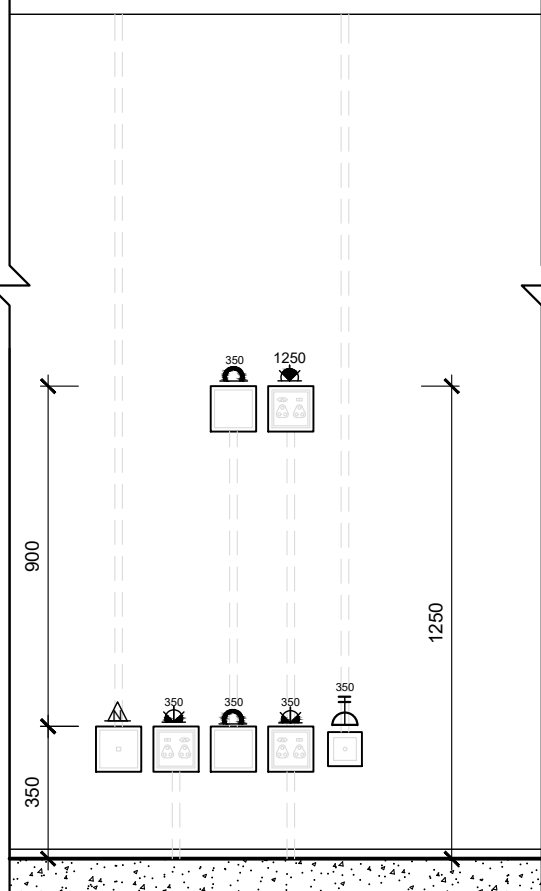
SIGNED: DATE: 28/11/2022

- **Swimming pool approved subject to compliance with NBR and Local Authority requirements.**

SCALE 1:50

- ## ELECTRICAL LEGEND

	LED Down lighter as per client specification		Garage door ceiling mounted motor		Starlights (wall mounted) as per client
	Single wall mounted light switch to be mounted at 1300mm above uffi.		Tripole wall mounted light switch to be mounted at 1300mm above uffi.		Strip Lighting
	Double wall mounted light switch to be mounted at 1300mm above uffi.		Shavers plug		Pool light as per client
	Triple wall mounted light switch to be mounted at 1300mm above uffi.		Telkom point		Foot light
	2-way wall mounted light switch to be mounted at 1300mm above uffi.		Network point		Electrical fence control box.
	Watermeter wall mounted light switch to be mounted at 1300mm above uffi.		Stove isolator		Gate Control Unit
	Dringwall wall mounted light switch to be mounted at 1300mm above uffi.		Power Skirting		Pre-paid Electricity meter
	Double wall mounted plug, top of socket to be 1250mm above uffi.		2 (x 18 W) 1500 Long 2 tube fluorescent armature with prismatic diffuser suspended from ceiling.		Daylight sensor
	Double wall mounted plug, top of socket to be 350mm above uffi.		5 Watt LED Down lighter as per specification		Intercom system.
	20 Watt Compact Fluorescent pendant light as per specification.		5 (Watt x 2) Internal LED Wall mounted light		IT Intercom
	Exterior connection plug @ 2100mm		10 (Watt x 2) External LED Wall mounted light		Alarm
	Blank conduct box		50 Watt External LED Wall mounted spotlight		Hair dryer waterproof plug
	Periscope plug as per specification.		13 Watt Internal compact Fluorescent Up Lighter (wall mounted) as per client		Main distribution board
	Uninterruptible power supply Shelve to be installed for future PC opt installations, shelve to be as per specialist.		Sub distribution board		Sub distribution board



SCALE 1:20
Plugs, as per specialist.
Plug selection as per client.

REV 01 - A	Stairs and foot lights amended	2022/07/20
REV 02 - A	Domestic Room Unfitted and pantry added	2022/06/06
REV 03-01	Bar added	2022/10/14
REV 03-02	Patio light readjustments	2022/10/14
REV 03-03	Decking readjustments	2022/10/14
REV 03-04	Fits pit moved	2022/10/14
REV 03-05	New domestic room added	2022/10/14
REV 03-06	Domestic room lights added	2022/10/14
REV 03-07	Fit and light added	2022/10/14
REV 03-08	WIFI and TVH setup moved	2022/10/14
REV 03-09	Pantry light switch moved	2022/10/14
REV 03-10	Domestic Living light switch moved	2022/10/14
REV 03-11	Gas cage and water tanks moved	2022/10/14
REV 04-01	Boundary wall added	2022/10/25
REV 05-01	Gas cage moved	2022/10/26
REV 05-02	Stairs amended	2022/10/26

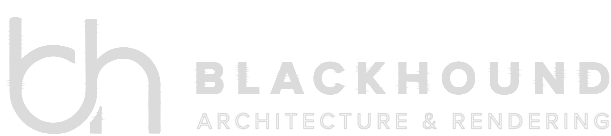
All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors shall be responsible for all measurements and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by the Construction Regulations 2014, and must be registered in accordance with the clients OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. The contractor shall ensure that the building is constructed to ensure he is familiar with the site. All trade names quoted may not be substituted by similar, subject to architect's approval. All materials and workmanship shall be in accordance with the relevant specifications. All conduit work to be SABS approved quality. All lighting fittings to be fitted to comply with the relevant code of practice for lighting. All drawings shall be made good with existing. This drawing is not to be scaled unless printed by H. Gouws rendering. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the architect immediately. All foundations to be a minimum of 150mm below finished ground level. Minimum 100mm of compacted fill over the foundations. All concrete to be 25 mci, "granular" ultra green damp on 50mm sand blinding layer and over floor compacted fill in layers not more than 150mm. SABS Approved concrete to be used for all foundations and walls. All drawings and floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All drawings shall be in accordance with the National Building Regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drawings shall be in accordance with the National Building Regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All layouts to be confirmed on site by the architect. All measurements to be taken relative to a benchmark at 100.00 msl of new floor level. Msl is not the actual level but a benchmark to base other heights of the building on. All drawings shall be in accordance with the National Building Regulations on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and all drawings. The contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

PROJECT TITLE:

NEW DWELLING ON **ERF 11213**,
PEZULA GOLF ESTATE , KNYSNA FOR
Mr Malcolm Isaacs

CLIENT SIGNATURE



hannes@blackhoundenterprises.com

Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	11213, PEZULA GOLF ESTATE
ERF AREA:	996 sqm
EXISTING AREA:	0 sqm
NEW AREA:	417 sqm
TOTAL AREA:	417 sqm
EX. COVERAGE:	0 sqm 0%
NEW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
NEW GARAGES:	1 x Double Garage
NEW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW



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PROJECT NO.:

2021_House Isaacs

DRAWING NO.:

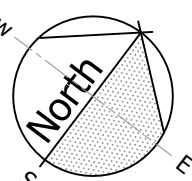
DRAWN BY:

DMP

REVISION NO.:

05

103



ISSUED FOR COSTING ONLY

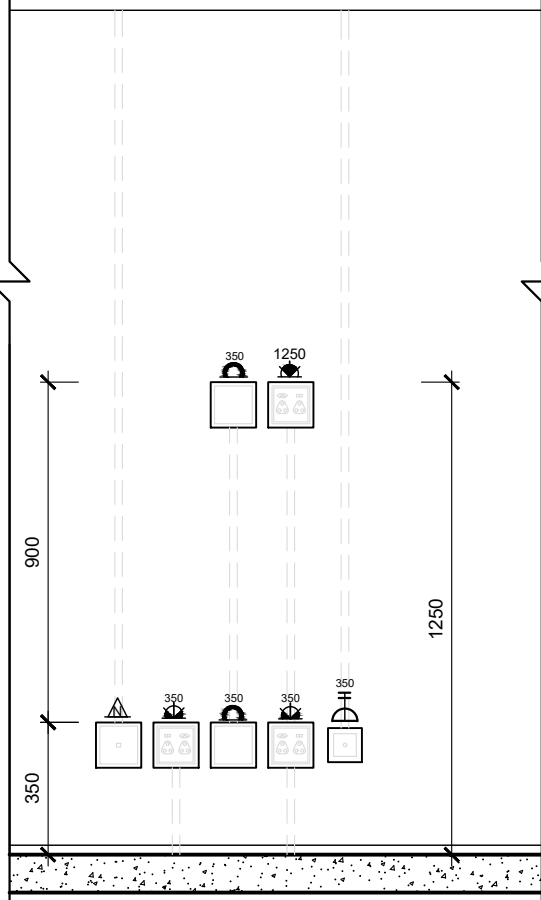


PEZULA GOLF ESTATE HOA
• PEZULA GOLF ESTATE HOA
• PEZULA GOLF ESTATE HOA
• PEZULA GOLF ESTATE HOA

- NOTE:**
- All external finishes to HOA approval.
 - All Concrete flat roofs to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA.
 - All plug positions to be confirmed on site.
 - All conduits and wiring to be as per qualified specialist.

ELECTRICAL LEGEND

LED Down lighter as per client specification	Garage door ceiling mounted motor	Starlights (wall mounted) as per client
Single wall mounted light switch to be mounted at 1300mm above uffi.	TV point aerial	LED Strip Lighting
Double wall mounted light switch to be mounted at 1300mm above uffi.	Shavers plug	Pool light as per client
Triple wall mounted light switch to be mounted at 1300mm above uffi.	Telkom point	Foot light
2-way wall mounted light switch to be mounted at 1300mm above uffi.	Network point	Electrical fence control box.
Waterlight wall mounted light switch to be mounted at 1300mm above uffi.	Stove Isolator	Gate Control Unit
Dimmer wall mounted light switch to be mounted at 1300mm above uffi.	Power Skirting (2 x 18 W) 1500 Long 2 tube fluorescent armature with prismatic diffuser suspended from ceiling	Pre-paid Electricity meter
Double wall mounted plug, top of socket to be 1250mm above uffi.	5 Watt LED Down lighter as per specification	Daylight sensor
Double wall mounted plug, top of socket to be 350mm above uffi.	20 Watt Compact Fluorescent pendant light as per specification	Intercom system.
Extractor connection plug @ 2100mm	(5 Watt x 2) Internal LED Wall mounted light	Intercom
Blank conduiting boxes	(10 Watt x 2) External LED Wall mounted light	Alarm
Periscope plug as per specification.	50 Watt External LED Wall mounted spotlight	Hair dryer waterproof plug
Uninterruptible power supply	13 Watt Internal compact Fluorescent Up Lighter (wall mounted) as per client	Main distribution board
Sleeve to be installed for future Fibre optic installations, sleeve to be as per specialist.		Sub distribution board



Typical TV plug cluster layout

SCALE 1:20
Plugs, as per specialist.
Plug selection as per client.

REVISIONS:

REV 01-01	Main Bedroom lights adjusted	2022/10/14
REV 01-02	TV plug positions adjusted	2022/10/14
REV 01-03	Renovated Study light	2022/10/14
REV 01-04	Renovated Dresser light	2022/10/14
REV 01-05	Study plug moved	2022/10/14
REV 01-06	Walls amended	2022/10/14
REV 01-07	Lean-to roof removed	2022/10/14
REV 01-08	Deck and stairs amended	2022/10/14
REV 01-09	Boundary wall removed	2022/10/14
REV 01-10	Under tank and gas cage moved	2022/10/14
REV 01-11	Skylight added	2022/10/14
REV 02-01	Boundary wall moved	2022/10/25
REV 03-01	Gas capped moved	2022/10/26

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the clients OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is priced it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings is to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part O. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunplaster' ubi green dpm on 50mm sand blinding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gundie' 375 mic. dpc under all walls, window cills and of changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark at 100.00 ml of new floor level. All is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE:

NEW DWELLING ON ERF 11213,
PEZULA GOLF ESTATE, KNYSNA FOR
Mr Malcolm Isaacs

CLIENT SIGNATURE

bh BLACKHOUND
ARCHITECTURE & RENDERING

hannes@blackhousedownterprises.com
072 799 5597 | 072 418 6867
Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	11213, PEZULA GOLF ESTATE
ERF AREA:	996 sqm
EXISTING AREA:	0 sqm
NEW AREA:	417 sqm
TOTAL AREA:	417 sqm
EX. COVERAGE:	0 sqm 0%
NEW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
NEW GARAGES:	1 x Double Garage
NEW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW



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PROJECT NO.:

2021_House Isaacs

DRAWING NO.:

20221027_House Isaacs_MS07

DRAWN BY:

DMP

PRINT DATE:

27 Oct 2022

REVISION NO.:

03

SHEET NO.:

104

FIRST FLOOR PLAN

SCALE 1:50

W1 - quantity2	W2 - quantity1	W3 - quantity1	W4 - quantity1	W5 - quantity1	W6 - quantity1	W7 - quantity1	W8 - quantity1
ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE
WINDOW NO. W1 QUANTITY: 2 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 3960mm x 425mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 1.00m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panes ORIENTATION: East, West	WINDOW NO. W2 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 740mm x 850mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 3.70m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with side hung panels ORIENTATION: North	WINDOW NO. W3 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 1260mm x 425mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.25m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panels ORIENTATION: North	WINDOW NO. W4 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 3110mm x 425mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.75m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panels ORIENTATION: West	WINDOW NO. W5 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 2305mm x 255mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.59m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with fixed panels ORIENTATION: West	WINDOW NO. W6 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 1215mm x 935mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.66m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with side hung panels ORIENTATION: Internal	WINDOW NO. W7 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 2650mm x 935mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.66m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with side hung panels ORIENTATION: Internal	WINDOW NO. W8 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 2305mm x 255mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.59m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with fixed panels ORIENTATION: East

W9 - quantity2	W10 - quantity1	W11 - quantity1	W12 - quantity2	W13 - quantity1	W14 - quantity2	W15 - quantity1	W16 - quantity1	W17 - quantity1
ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE
WINDOW NO. W9 QUANTITY: 2 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 580mm x 850mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.26m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with side hung panels ORIENTATION: East	WINDOW NO. W10 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 1590mm x 340mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.54m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panels ORIENTATION: North	WINDOW NO. W11 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 3600mm x 425mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 3.06m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with fixed panels ORIENTATION: Internal	WINDOW NO. W12 QUANTITY: 2 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 600mm x 1980mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.82m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with fixed panels ORIENTATION: North	WINDOW NO. W13 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 2320mm x 425mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.99m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with fixed panels ORIENTATION: West	WINDOW NO. W14 QUANTITY: 2 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 800mm x 1215mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 1.72m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panels ORIENTATION: West, East	WINDOW NO. W15 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 2890mm x 425mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 1.23m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panels ORIENTATION: East	WINDOW NO. W16 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 4010mm x 425mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 1.70m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panels ORIENTATION: East	WINDOW NO. W17 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 860mm x 2330mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 2.00 m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made fixed window ORIENTATION: North-West

W18 - quantity1	W19 - quantity1	W20 - quantity1
ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE	ALL DIMENSIONS TO BE TAKEN ON SITE
WINDOW NO. W18 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 1200mm x 340mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 0.41 m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made window with top hung panels ORIENTATION: South-West	WINDOW NO. W19 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 3700mm x 1080mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 4.00 m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made fixed skylight ORIENTATION: Skylight	WINDOW NO. W20 QUANTITY: 1 FRAME: Aluminium COLOUR: Charcoal OVERALL SIZE: 3700mm x 1135mm GLAZING: Glass as per NBR PART-N and fenestration calculations. FENESTRATION AREA (m²): 4.20 m² SPECIFICATIONS : Custom made DESCRIPTION : Custom made fixed window panels ORIENTATION: South-East

WINDOW SCHEDULE

SCALE 1:50

FENESTRATIONS SCHEDULE - Ground Floor - Main House													
TAG	WIDTH	HEIGHT	FRAME-GLAZING	OVERHANG	U-VALUE	SHGC	O	P/H	A	C	LU P/H	E	AXSXE
D1.1/1	2430	2125	HINGED W/D: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	135	4.02	0.49	North-East	0.05	5.16	20.74	0.05	0.97	2.45
D3/1	2787	2125	HINGED W/D: 6.38mm Clear (Single)	135	5.93	0.57	South-West	0.05	5.92	35.11	0.05	0.96	3.24
D4/1	6235.07	2125	HINGED W/D: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	4317.96	4.02	0.50	South-West	1.64	13.25	53.27	1.60	0.31	2.05
D8/1	1440	2125	HINGED W/D: 6.38mm Clear (Single)	438.61	5.93	0.57	South-East	0.17	3.06	18.15	0.15	0.69	1.20
D9/1	900	2125	HINGED W/D: 6.38mm Clear (Single)	135.1	5.93	0.57	South-East	0.05	1.91	11.33	0.05	0.78	0.85
W10/1	1590	340	HINGED W/D: 6.38mm Clear (Single)	135	5.93	0.57	North-East	0.16	0.54	3.20	0.15	0.83	0.26
W2/1	740	850	HINGED W/D: 6.38mm Clear (Single)	600	5.93	0.57	North-East	0.44	0.63	3.74	0.40	0.58	0.21
W3/1	1300	425	HINGED W/D: 6.38mm Clear (Single)	635	5.93	0.57	North-East	0.69	0.55	3.26	0.60	0.43	0.13
W4/1	3110	425	HINGED W/D: 6.38mm Clear (Single)	135	5.93	0.57	North-West	0.15	1.32	7.83	0.15	0.97	0.73
W6/1	1215.14	935	HINGED W/D: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	4349.38	4.02	0.49	South-West	3.03	1.14	4.58	2.00	0.26	0.15
W7/1	2649.96	935	HINGED W/D: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	4376.36	4.02	0.49	South-West	3.05	2.48	9.97	2.00	0.26	0.32
SUMMARY													
ZONE	Cu	CSHGC	NETT FLOOR AREA	TOTAL GLAZING AREA	GLAZING %	CONDUCTANCE	SHGC						
4	1.4	0.13	150.70	35.96	15	210.98	19.59						
					23.86	171.18	11.59						
					CALCULATE	COMPLY	COMPLY						

FENESTRATION CALCULATIONS / GROUND FLOOR (Main House)

FENESTRATIONS SCHEDULE - First Floor - Main House													
TAG	WIDTH	HEIGHT	FRAME-GLAZING	OVERHANG	U-VALUE	SHGC	O	P/H	A	C	LU P/H	E	AXSXE
D13/1	5577	2125	SLIDING DOOR: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	635	4.47	0.47	South-West	0.30	11.85	52.97	0.30	0.75	4.18
D15/1	3555	2125	SLIDING DOOR: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	635	4.47	0.47	South-West	0.30	7.55	33.75	0.30	0.75	2.66
D16/1	3595	2125	SLIDING DOOR: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	635	4.47	0.47	South-West	0.30	7.64	34.15	0.30	0.75	2.69
W1.2/1	4210	2890	HINGED W/D: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	1265	4.02	0.50	North-East	0.37	12.17	48.92	0.35	0.63	3.83
W12/1	600	1360	HINGED W/D: 6.38mm Clear (Single)	135	5.93	0.57	North-East	0.07	0.82	4.86	0.05	0.97	0.45
W12/2	600	1360	HINGED W/D: 6.38mm Clear (Single)	135	5.93	0.57	North-East	0.07	0.82	4.86	0.05	0.97	0.45
W13/1	2320	425	HINGED W/D: 6.38mm Clear (Single)	135	5.93	0.57	North-West	0.15	0.99	5.87	0.15	0.97	0.55
W14/1	825	2125	HINGED W/D: 6.38mm Clear (Single)	765	5.93	0.57	South-East	0.36	1.75	10.38	0.35	0.57	0.57
W14/2	825	2125	HINGED W/D: 6.38mm Clear (Single)	765	5.93	0.57	North-West	0.36	1.75	10.38	0.35	0.75	0.75
W15/1	2890	425	HINGED W/D: 6.38mm Clear (Single)	100	5.93	0.57	South-East	0.11	1.23	7.29	0.10	0.74	0.52
W16/1	4010	425	HINGED W/D: 6.38mm Clear (Single)	635	5.93	0.57	North-East	0.69	1.70	10.08	0.60	0.43	0.42
W20/1	3700	1135	SLIDING DOOR: 6.38mm Clear + 12mm + 6.38mm Clear (Double)	135	4.47	0.47	South-West	0.12	4.20	18.77	0.10	0.91	1.80
W9/1	580	850	HINGED W/D: 6.38mm Clear (Single)	725	5.93	0.57	South-East	0.54	0.49	2.91	0.50	0.49	0.14
SUMMARY													
ZONE	Cu	CSHGC	NETT FLOOR AREA	TOTAL GLAZING AREA	GLAZING %	CONDUCTANCE	SHGC						
4	1.4	0.13	165.75	52.96	15	232.05	21.55						
					31.95	245.19	19.01						
					CALCULATE	COMPLY	COMPLY						

FENESTRATION CALCULATIONS / FIRST FLOOR (Main House)

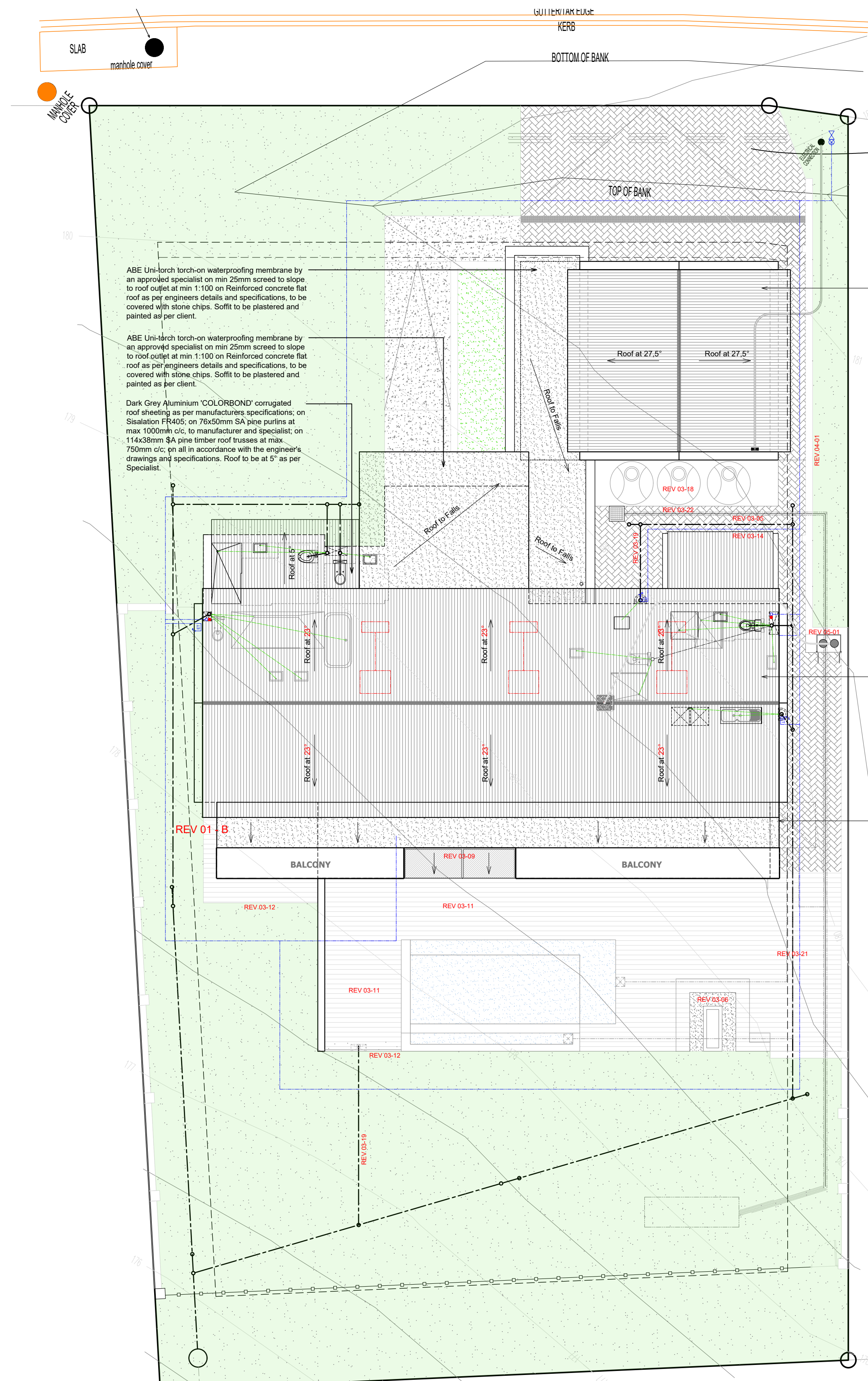
FENESTRATIONS SCHEDULE - Ground Floor - Domestic													
TAG	WIDTH	HEIGHT	FRAME-GLAZING	OVERHANG	U-VALUE	SHGC	O	P/H	A	C	LU P/H	E	AXSXE
W18/1	1200	935	HINGED W/D: 6.38mm Clear (Single)	135	5.93	0.57	North-East	0.09	1.12	6.64	0.05	0.97	0.62
W9/1	580	850	HINGED W/D: 6.38mm Clear (Single)	435	5.93	0.57	South-East	0.32	0.49	2.91	0.30	0.59	0.16
SUMMARY													
ZONE	Cu	CSHGC	NETT FLOOR AREA	TOTAL GLAZING AREA	GLAZING %	CONDUCTANCE	SHGC						
4	1.4	0.13	13.02	1.61	15	18.23	1.69						
					12.37	9.55	0.78						
					CALCULATE	COMPLY	COMPLY						

FENESTRATION CALCULATIONS / Domestic

REVISIONS:

REV 01-01	W17/1 Added	2022/10/14
REV 01-02	W101 Added	2022/10/14
REV 01-03	W101 Added	2022/10/14
REV 01-04	W201 Added	2022/10/14
REV 01-05	W01 Amended	2022/10/14
REV 01-06	W01 Amended	2022/10/14
REV 01-07	W101 Amended	2022/10/14
REV 01-08	Fenestration calculations updated	2022/10/14

- NOTE:**
- All external finishes to HOA approval.
 - All Concrete flat roofs to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA.
 - All plug positions to be confirmed on site.



ROOF AREAS:		
GARAGE		
- SHEETING		44m ²
- FLAT ROOF		29m
HOUSE		
- SHEETING		159m ²
- FLAT ROOF		49m ²
OVER ENTERTAINMENT SPACE		
- SHEETING		38m ²
TOTAL		
- SHEETING		241m ²
- FLAT ROOF		78m ²
TOTAL AREA OF ROOF		319m²
OF SHEETING		76%
OF FLAT ROOF		24%

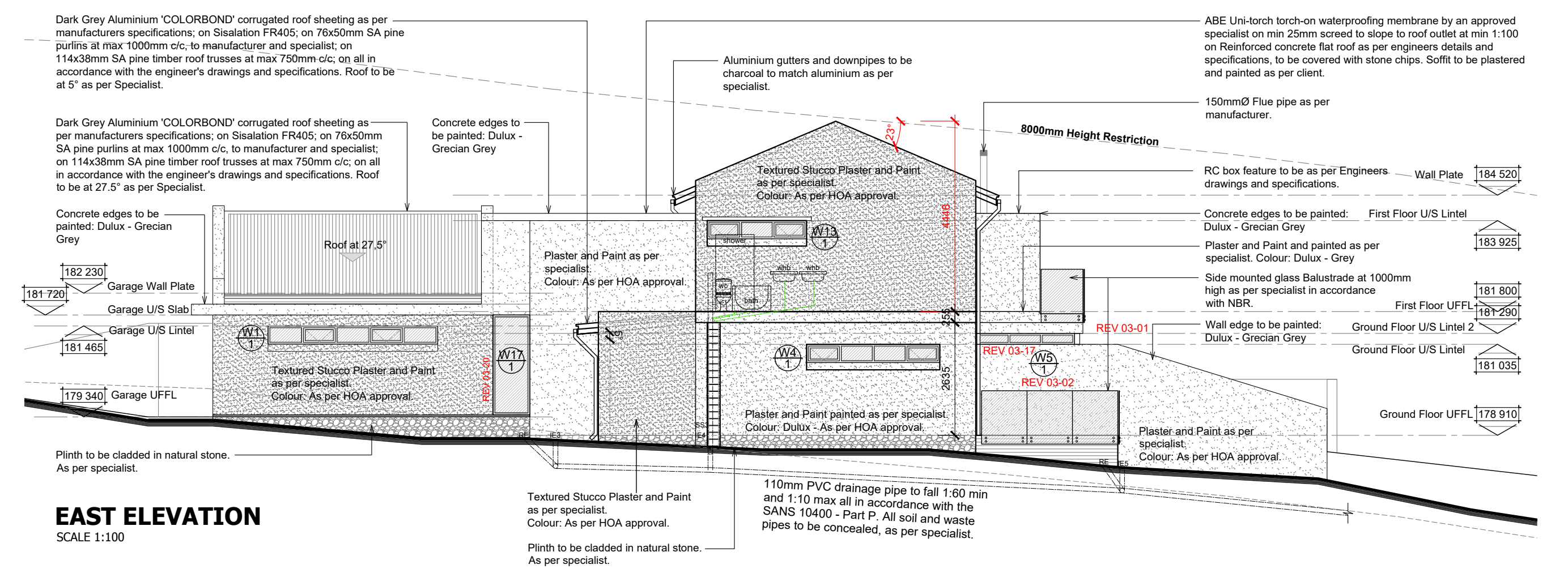
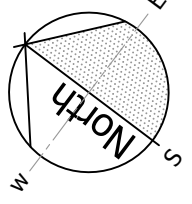
**PEZULA GOLF ESTATE
HOMEOWNERS' ASSOCIATION**

THIS DRAWING HAS BEEN REVIEWED FOR CONFORMANCE WITH THE
ARCHITECTURAL DESIGN MANUAL AND PUT FORWARD TO THE
KINSHASA MUNICIPALITY WITH A RECOMMENDATION FOR APPROVAL.

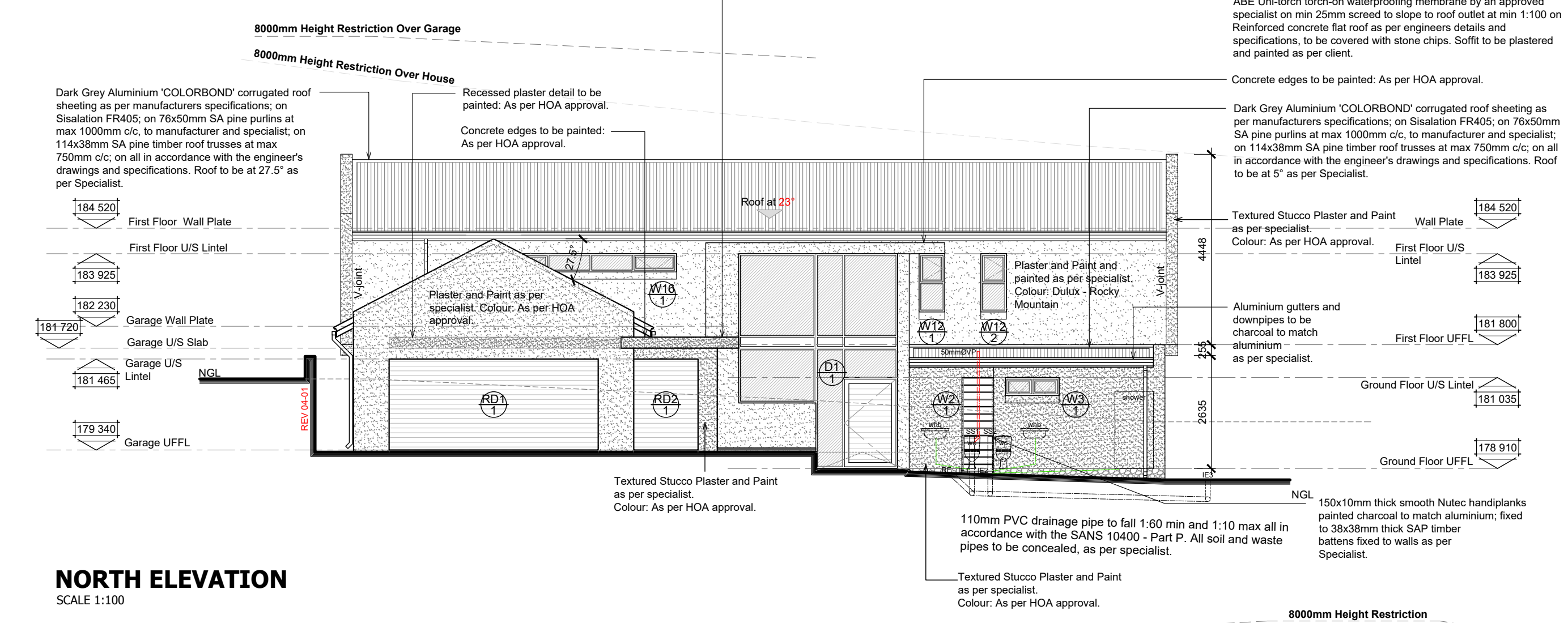
SIGNED: _____ DATE: 28/11/2022

PEZULA GOLF ESTATE HOA

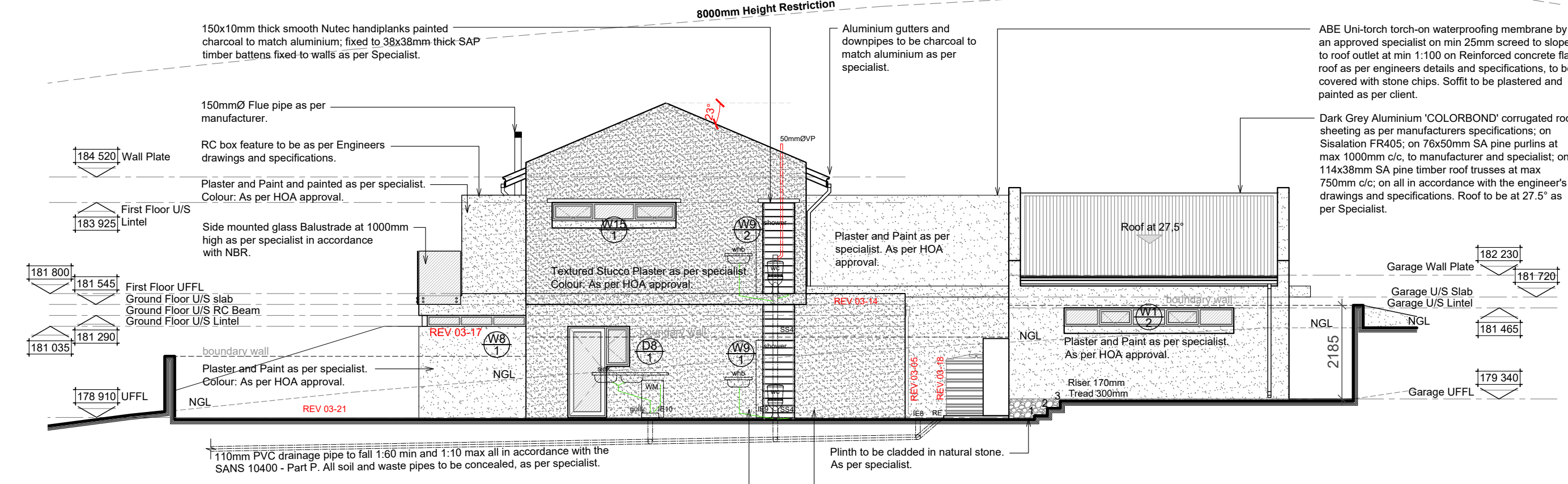
- All soil and sewer pipes to be concealed
- Pool to be backwashed to sewer
- Swimming pool approved subject to compliance with NBR and Local Authority requirements.



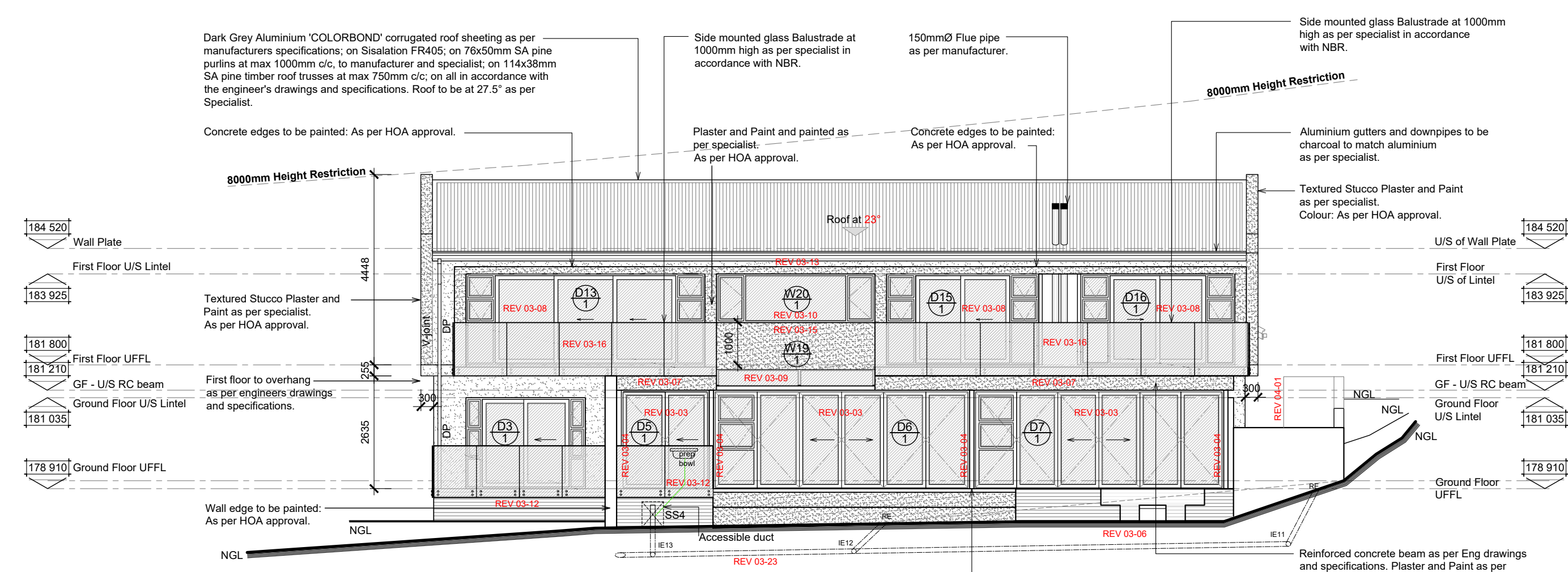
EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

REVISIONS:

REV 01 - A	Ground floor UPL amended	2022/04/07
REV 01 - B	Roof angle amended	2022/04/07
REV 01 - C	Cl1 amended	2022/04/07
REV 02 - A	D91 omitted	2022/05/09
REV 03-01	Living to roof removed	2022/07/14
REV 03-02	Legals to roof amended	2022/07/14
REV 03-03	D01 L D61 L 0/71 amended	2022/07/14
REV 03-04	Columns amended	2022/07/14
REV 03-05	Wall removed	2022/07/14
REV 03-06	First pit moved	2022/07/14
REV 03-07	Balcony amended & added beam	2022/07/14
REV 03-08	D13 L D15 L 0/161 amended	2022/07/14
REV 03-09	New W10 added	2022/07/14
REV 03-10	New W10 added	2022/07/14
REV 03-11	Deck amended	2022/07/14
REV 03-12	Bath to stairs added	2022/07/14
REV 03-13	Flat roof amended	2022/07/14
REV 03-14	Domestic area added to elevations and site plan	2022/07/14
REV 03-15	D141 omitted	2022/07/14
REV 03-16	Bath to side added	2022/07/14
REV 03-17	W10 amended	2022/07/14
REV 03-18	Water tanks & gas pipe moved	2022/07/14
REV 03-19	Gas pipe to side amended	2022/07/14
REV 03-20	New W10 added	2022/07/14
REV 03-21	Boundary wall amended	2022/07/14
REV 03-22	Downmaster amended	2022/07/14
REV 03-23	Added Drangae to elevation	2022/07/14
REV 04-01	Boundary wall moved	2022/07/25
REV 05-01	Gas pipe moved	2022/10/26

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and standards. Contractor to ensure that all work is done by a registered participant in the construction industry as required by Construction Regulation 214. Drawings to be read in conjunction with the National Building Regulations and Building Standards Act 10400. Before this drawing is priced it is the contractor's responsibility to ensure that the drawings will be in accordance with the Act, or only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturers' instructions. Contractor to pay for SABS approved output. All light fittings is to be fitted to comply with the relevant code of practice as specified in SANS 10400, Part D. All new work to be installed in accordance with existing drawings and specifications printed by H. Gouwens readers. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the design engineer immediately. Contractor to be architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm concrete base for all foundations. All concrete to be 250 mm "gunpila" (un) green pump on 50mm sand binding layer and on 100mm concrete base. All concrete to be 250 mm "gunpila" 375 mci, concrete of all walls, window sills and all changes in floor level. These architectural drawings to be read in conjunction with the construction specifications. All work to be done in accordance with the drawings. All work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by the architect and the design engineer. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by the architect and the design engineer. All levels shall be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 m of new floor level. MSL is not to be used for benchmarking. Contractor to be responsible for all leveling shown on the drawings. Contractor to keep a full set of correct issued drawings on site. Contractor is responsible for the correct setting out of all site and levels. Contractor to pay for SABS approved output. All boundaries. Contractor to pay for responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE:

**NEW DWELLING ON ERF 11213,
PEZULA GOLF ESTATE , KNYSNA FOR
Mr Malcolm Isaacs**

.....
CLIENT SIGNATURE

bh **BLACKHOUND**
ARCHITECTURE & RENDERING

hannes@blackhoundenterprises.com
072 799 9597 | 072 418 6867

Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth
6075

27 Oct 22

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	11213, PEZULA GOLF ESTATE
ERF AREA:	996 sqm
EXISTING AREA:	0 sqm
NEW AREA:	417 sqm
TOTAL AREA:	417 sqm
EX. COVERAGE:	0 sqm 0%
NEW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
NEW GARAGES:	1 x Double Garage
NEW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW


**PROFESSIONAL SENIOR
ARCHITECTURAL TECHNOLOGIST**
JOHANNES STEPHANUS GOUWS
 09:13 am (Africa/Johannesburg) on 27 Oct 2022
 

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