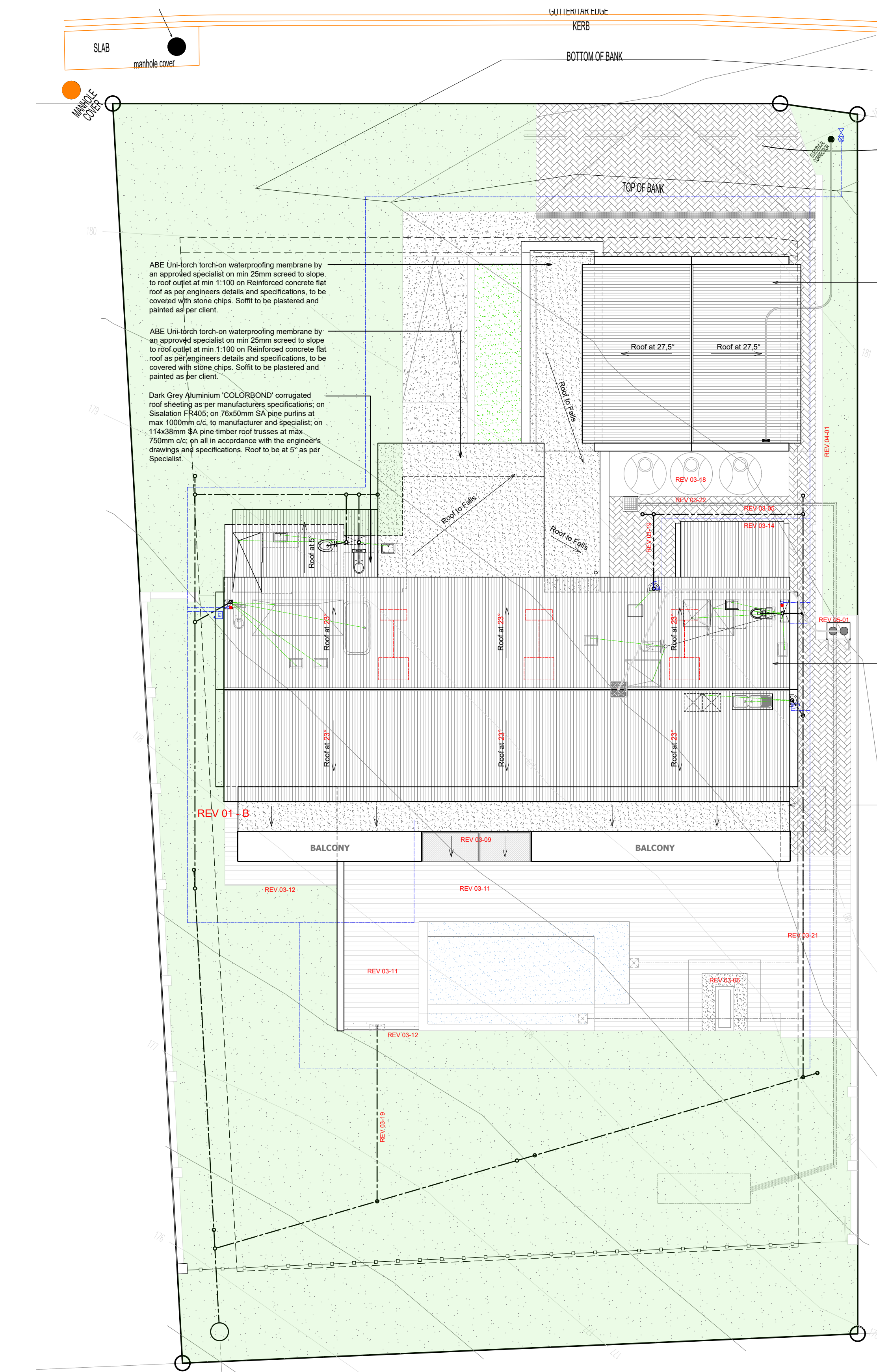


- NOTE:**
- All external finishes to HOA approval.
 - All Concrete flat roofs to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA.
 - All plug positions to be confirmed on site.



ROOF AREAS:	
GARAGE	
- SHEETING	44m²
- FLAT ROOF	29m²
HOUSE	
- SHEETING	159m²
- FLAT ROOF	49m²
OVER ENTERTAINMENT SPACE	
- SHEETING	38m²
TOTAL	
- SHEETING	241m²
- FLAT ROOF	78m²
TOTAL AREA OF ROOF	319m²
OF SHEETING	76%
OF FLAT ROOF	24%

PEZULA GOLF ESTATE HOMEOWNERS' ASSOCIATION

THIS DRAWING HAS BEEN REVIEWED FOR CONFORMANCE WITH THE ARCHITECTURAL DESIGN ACT AND PUT FORWARD TO THE KZN MUNICIPALITY WITH A RECOMMENDATION FOR APPROVAL.

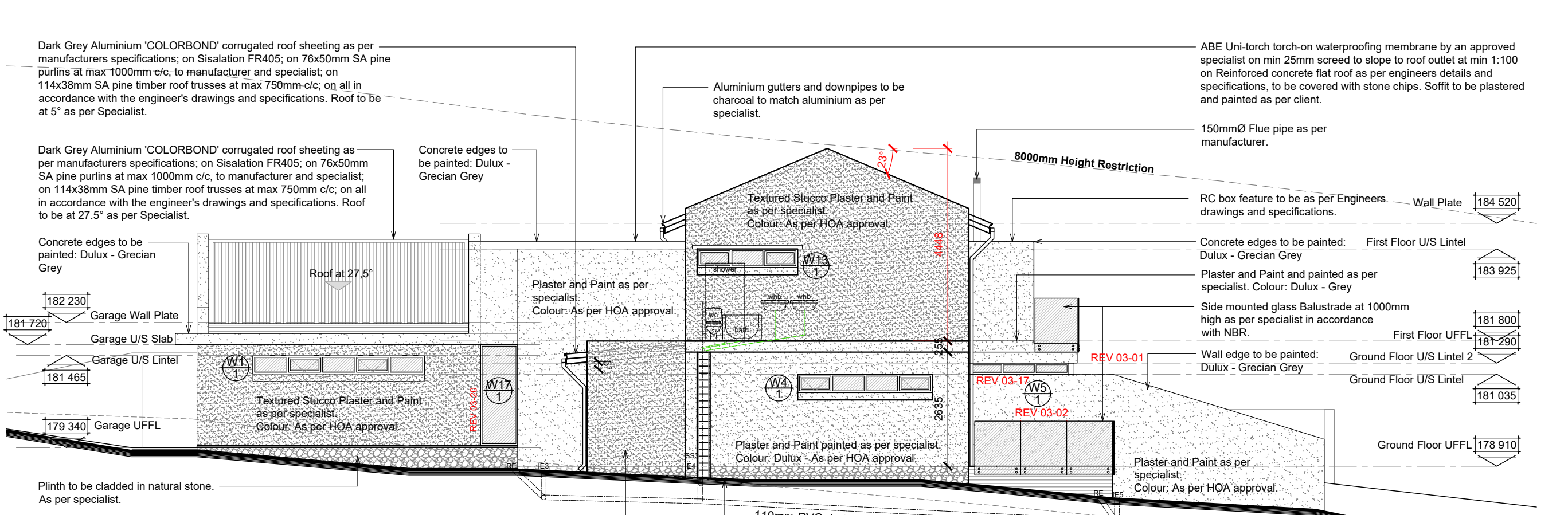
SIGNED: _____ DATE: 28/11/2022

PEZULA GOLF ESTATE HOA

- All soil and sewer pipes to be concealed
- Pool to be backwashed to sewer
- Swimming pool approved subject to compliance with NBR and Local Authority requirements.

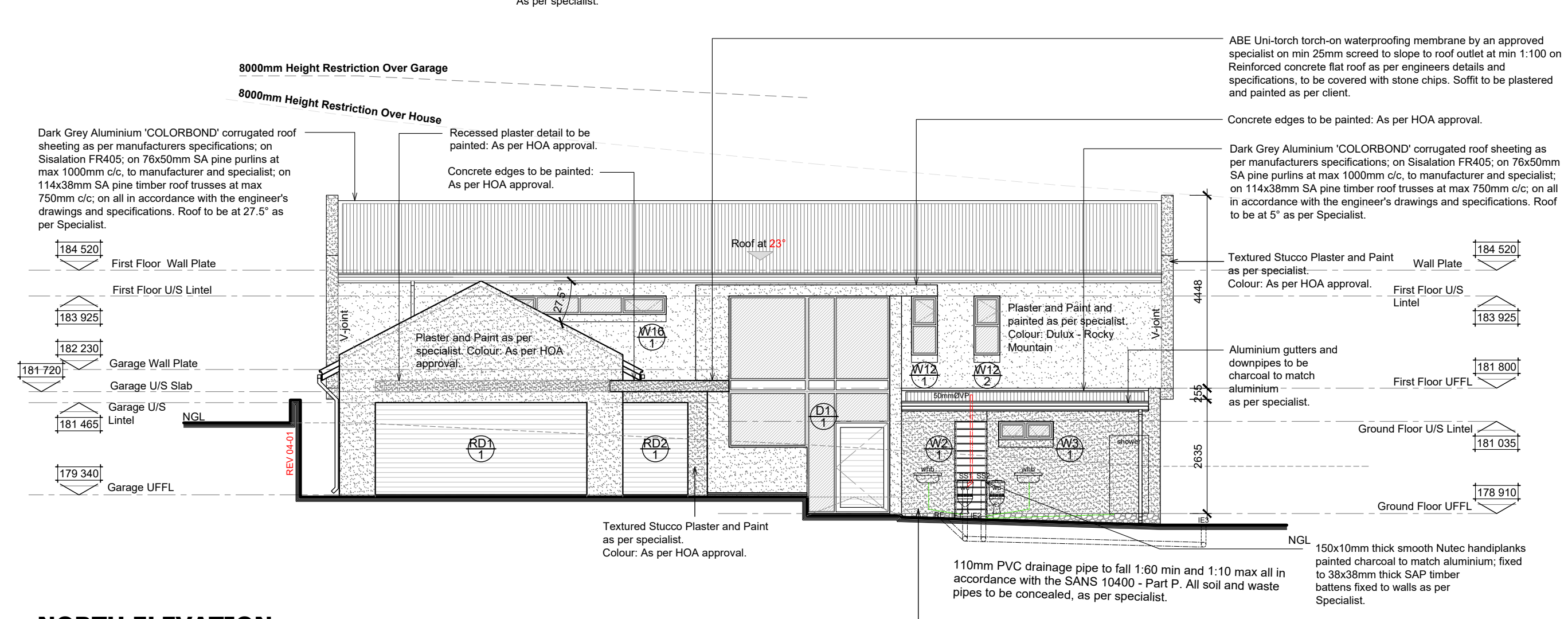
ROOF PLAN

SCALE 1:100



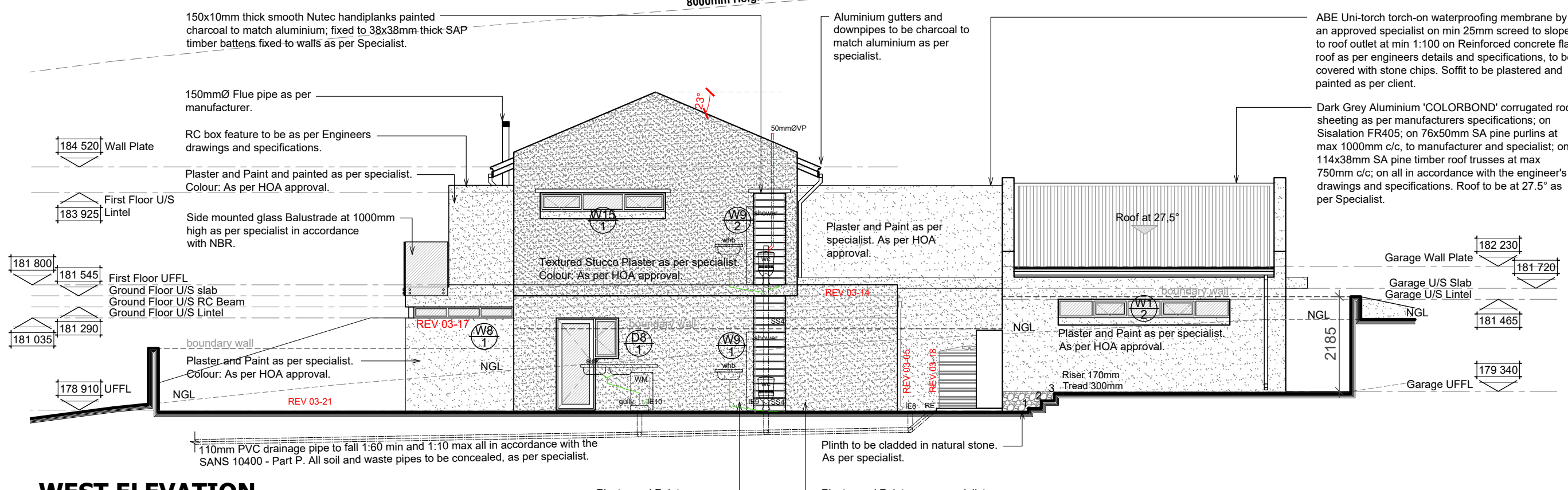
EAST ELEVATION

SCALE 1:100



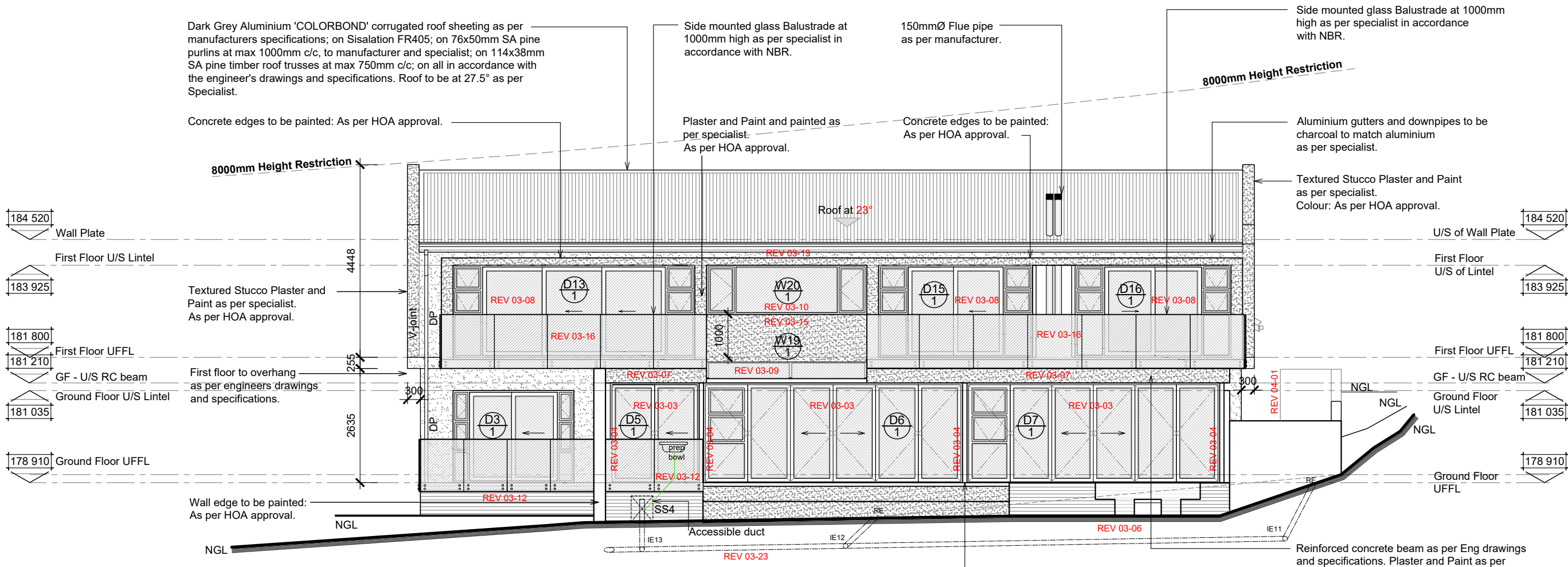
NORTH ELEVATION

SCALE 1:100



WEST ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100

REVISIONS:	
REV 01 - A	Ground floor UPL amended.
REV 01 - B	Roof amended.
REV 01 - C	DIT amended.
REV 02 - A	DIT omitted.
REV 03-01	Lean-to roof removed.
REV 03-02	Downing wall amended.
REV 03-03	DIT & DIT & DIT amended.
REV 03-04	Column amended.
REV 03-05	Wall removed.
REV 03-06	Wall amended.
REV 03-07	Balcony amended & added beam.
REV 03-08	DIT & DIT & DIT amended.
REV 03-09	New W3 added.
REV 03-10	New W3 added.
REV 03-11	Deck amended.
REV 03-12	Balcony amended.
REV 03-13	Full roof amended.
REV 03-14	Domestic area added to elevations and site plan.
REV 03-15	DIT amended.
REV 03-16	Balcony amended.
REV 03-17	Water tanks & gas cage moved.
REV 03-18	Drainage amended.
REV 03-19	New W3 added.
REV 03-20	Boundary wall amended.
REV 03-21	Boundary wall amended.
REV 03-22	Stonework amended.
REV 03-23	Added Drainage to elevation.
REV 04-01	Boundary wall moved.
REV 05-01	Gas cage moved.

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the clients OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is priced it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part O. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouwens renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineer drawings to be on 250 m.c. 'gunshot' sub green dpm on 50mm sand blinding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gunder' 375 m.c. dpc under all walls, window cills and of changes in floor level. These architectural drawings to be taken on site by local inspectors and pay all fees in connection therewith. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All file layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 msl of new floor level. All is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE:

NEW DWELLING ON ERF 11213, PEZULA GOLF ESTATE, KZN

Mr Malcolm Isaacs

CLIENT SIGNATURE

BLACKHOUND ARCHITECTURE & RENDERING

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Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	11213, PEZULA GOLF ESTATE
ERF AREA:	996 sqm
EXISTING AREA:	0 sqm
NEW AREA:	417 sqm
TOTAL AREA:	417 sqm
EX. COVERAGE:	0 sqm 0%
NEW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
NEW GARAGES:	1 x Double Garage
NEW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW

PROFESSIONAL SENIOR ARCHITECTURAL TECHNOLOGIST
JOHANNES STEPHANUS GOUWS
09-13 am (Africa/Johannesburg) on 27 Oct 2022

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DRAWING NO.:	20221027_House Isaacs_M507	SHEET NO.:	501
DRAWN BY:	DMP		
PRINT DATE:	27 Oct 2022	PAGE SIZE:	A1