

110mm PVC drainage pipe to fall 1:60 min and 1:10 max all in accordance with the SANS 10400 - Part P. All soil and waste pipes to be concealed, as per specialist.

Load-bearing wall as per Eng drawings and specifications.

Side mounted glass Balustrade at 1000mm high as per specialist in accordance with NBR.

Accessible duct underneath deck by specialist

GMS Post powdercoated charcoal to match aluminium by specialist to be as per Eng drawings and specifications.

GMS Post powdercoated charcoal to match aluminium by specialist to be as per Eng drawings and specifications.

Retaining wall as per Eng drawings and specifications

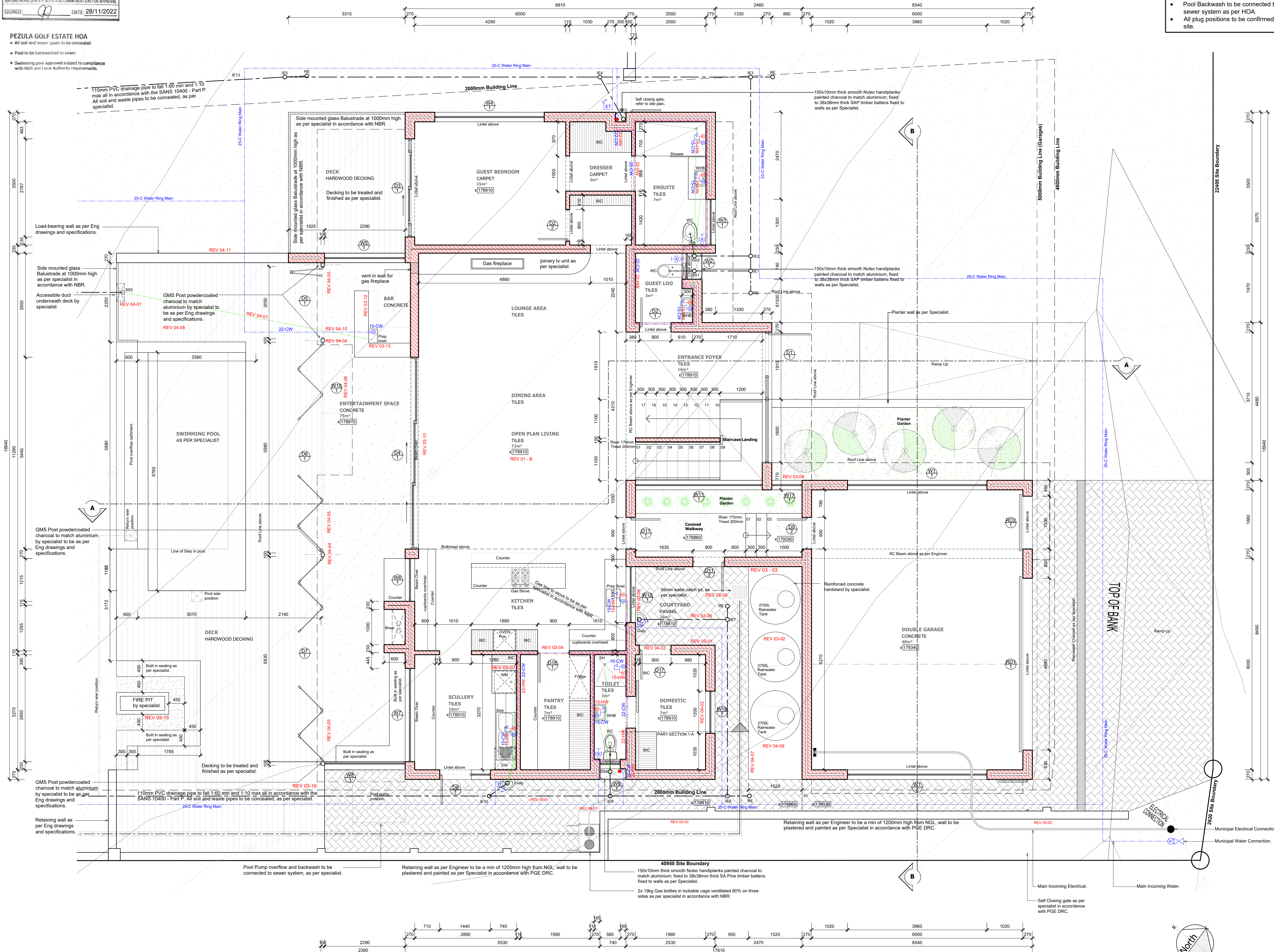
Pool Pump overflow and backwash to be connected to sewer system, as per specialist.

Retaining wall as per Engineer to be a min of 1200mm high from NGL; wall to be plastered and painted as per Specialist in accordance with PGE DRC.

150x10mm thick smooth Nutek handiplates painted charcoal to match aluminium; fixed to 38x38mm thick SA Pine timber battens fixed to walls as per Specialist.

2x 19kg Gas bottles in lockable cage ventilated 80% on three sides as per specialist in accordance with NBR.

GROUND FLOOR PLAN
@260m²
SCALE 1:50



- NOTE:**
- All external finishes to HOA approval.
 - All Concrete flat roofs to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA.
 - All plug positions to be confirmed on site.

REVISIONS:		
REV 01 - A	Stairs amended to new NGL level	2022/04/07
REV 01 - B	Ground Floor UPFL amended	2022/04/07
REV 02 - A	Domestic Room omitted	2022/05/09
REV 02 - B	Domestic Room amended to Toilet	2022/05/09
REV 03-01	Domestic Room added	2022/06/23
REV 03-02	Concrete handstand with tanks moved	2022/06/23
REV 03-03	Wall added with door under flat roof	2022/06/23
REV 03-04	Door added to pantry	2022/06/23
REV 03-05	W.A. moved	2022/06/23
REV 03-06	Drainage run changed	2022/06/23
REV 03-07	New W.A. added	2022/06/23
REV 03-08	New W.A. added	2022/06/23
REV 03-09	Stormwater control moved	2022/06/23
REV 03-10	Drainage changed	2022/06/23
REV 03-11	Column moved	2022/06/23
REV 03-12	New bar added	2022/06/23
REV 03-13	New architrave added	2022/06/23
REV 03-14	New Jacuzzi added	2022/06/23
REV 03-15	New Fire Pit added	2022/06/23
REV 03-16	Wall removed and deck extended	2022/06/23
REV 03-17	Patio roof removed	2022/06/23
REV 04-01	Prep bowl run moved	2022/10/15
REV 04-02	Move window in domestic	2022/10/15
REV 04-03	Move window in domestic	2022/10/15
REV 04-04	Patio column readjustments	2022/10/15
REV 04-05	Patio deck door readjustments	2022/10/15
REV 04-06	Patio skylight added	2022/10/15
REV 04-07	Remove Jacuzzi	2022/10/15
REV 04-08	Remove Jacuzzi	2022/10/15
REV 04-09	Water reconnection added to prep bowl at bar	2022/10/15
REV 04-10	Drainage wall moved	2022/10/15
REV 04-11	Drainage wall moved	2022/10/15
REV 05-01	Drainage line moved	2022/10/25
REV 05-02	Retaining wall moved	2022/10/25
REV 06-01	Gasline and cage moved	2022/10/25

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the clients OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is priced it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part O. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunshot' ubi green opm on 50mm sand blinding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gundie' 375 mic. dpc under all walls, window cills and of changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark at 100.00 msl of new floor level. Msl is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

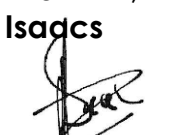
DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE:

NEW DWELLING ON ERF 11213,
PEZULA GOLF ESTATE, KENYA FOR
Mr Malcolm Isaacs

CLIENT SIGNATURE

 27 Oct 22

BLACKHOUND
ARCHITECTURE & RENDERING

hannes@blackhunderenterprises.com
072 799 5597 | 072 418 6867
Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	11213, PEZULA GOLF ESTATE
ERF AREA:	996 sqm
EXISTING AREA:	0 sqm
NEW AREA:	417 sqm
TOTAL AREA:	417 sqm
EX. COVERAGE:	0 sqm 0%
NEW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
NEW GARAGES:	1 x Double Garage
NEW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW

PROFESSIONAL SENIOR
ARCHITECTURAL TECHNOLOGIST
JOHANNES STEPHANUS GOUWS
09 10 am (Africa/Johannesburg) on 27 Oct 2022

COPYRIGHT:
This drawing is subject to copyright, and may not be reproduced in whole or part in any matter whatsoever without written permission from H. Gouws Renders.

PROJECT NO.:	2021_House Isaacs	REVISION NO.:	06
DRAWING NO.:	20221027_House Isaacs_M507	SHEET NO.:	101
DRAWN BY:	DMP		
PRINT DATE:	27 Oct 2022	PAGE SIZE:	A1