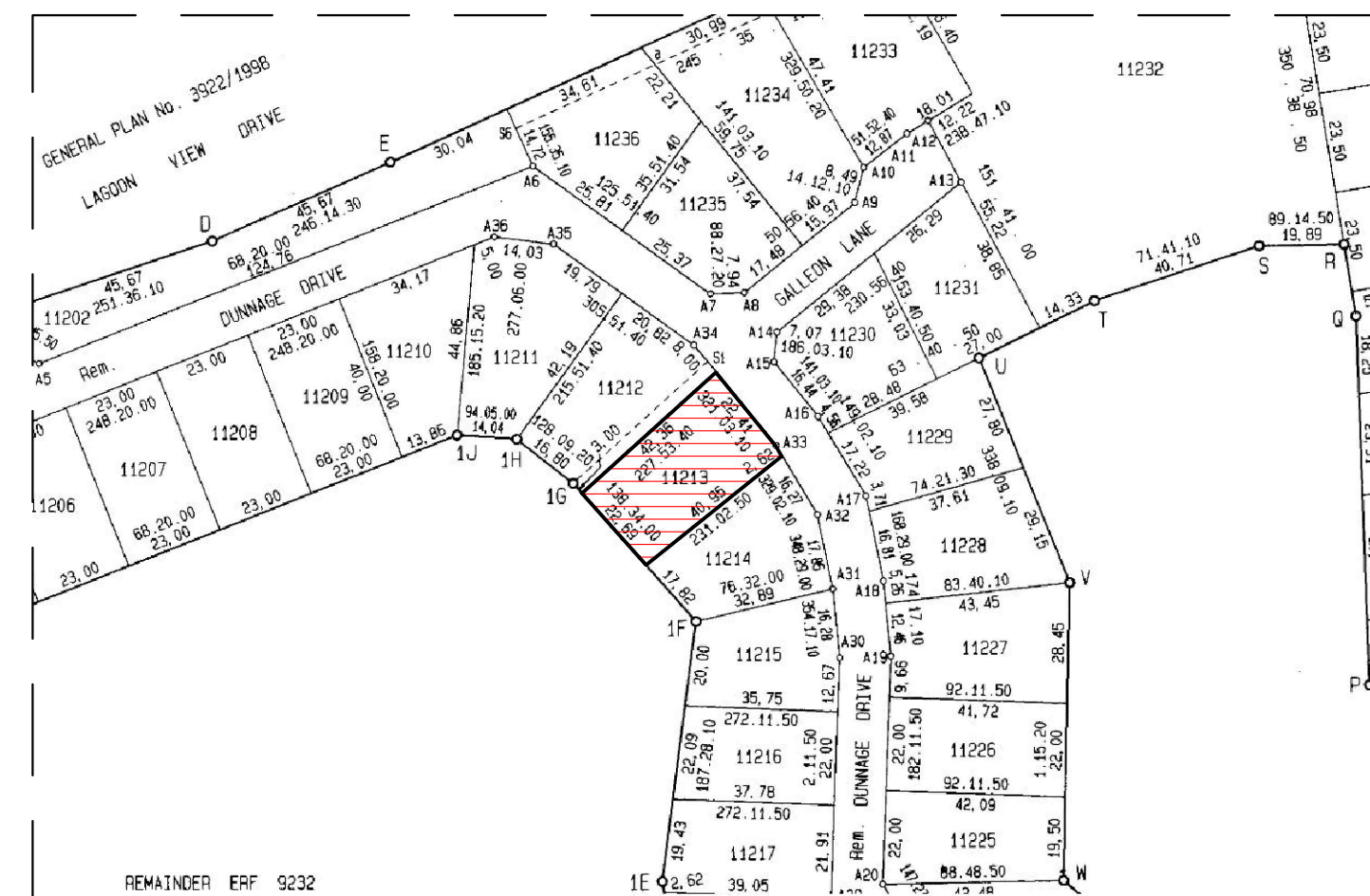
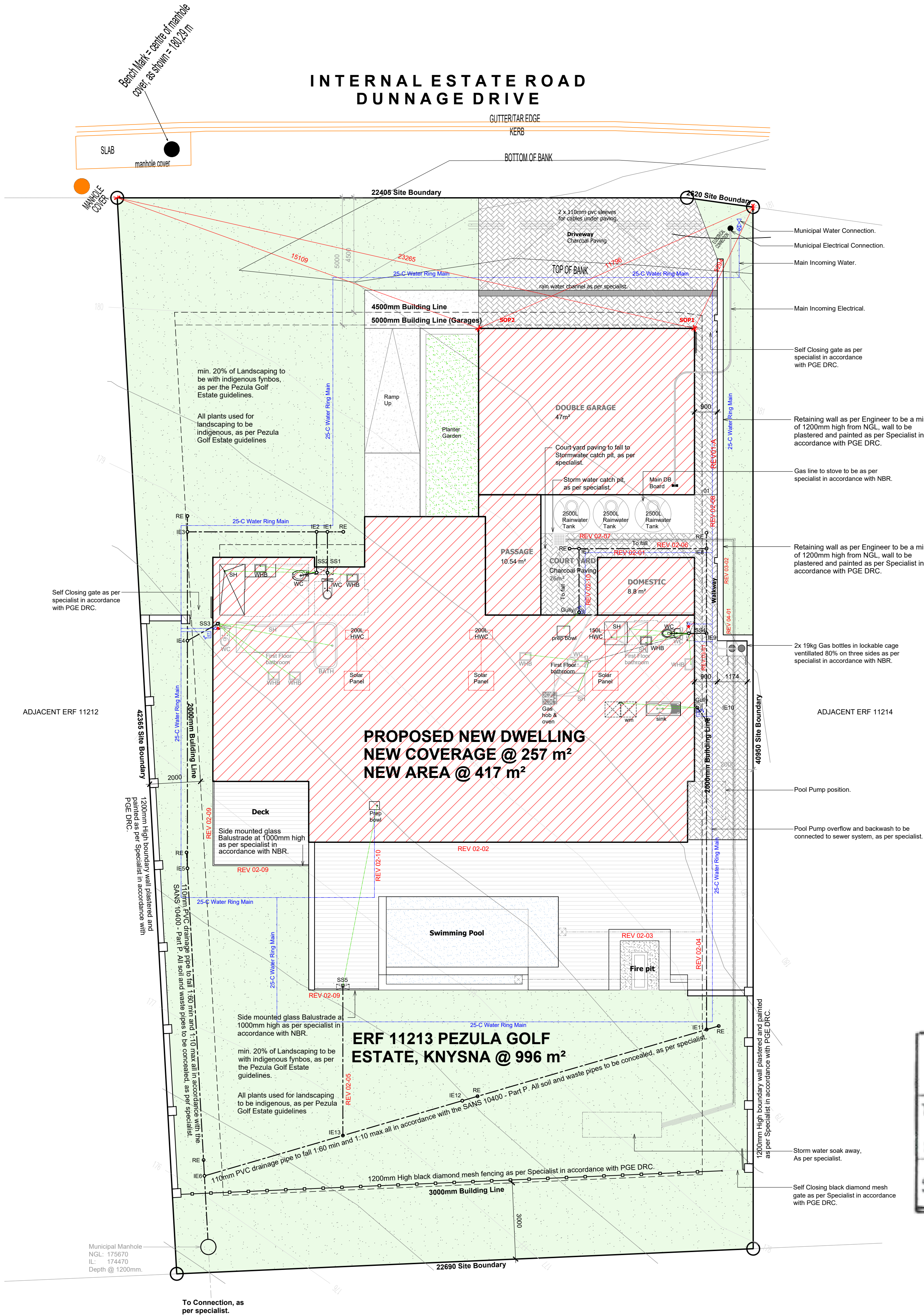




- NOTE:
- All external finishes to be covered with stone chips
 - Pool Backwash to be connected to sewer system as per HOA

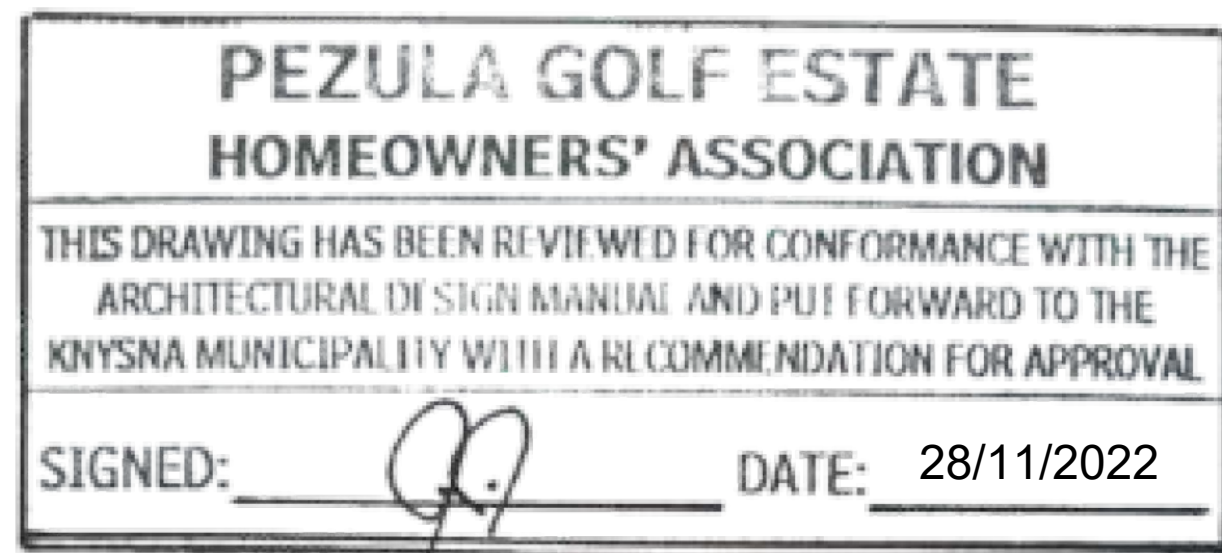
WATER RETICULATION LEGEND

	proposed cold water source point, plumber to tap into existing cold water pipes at this point
	proposed cold water reticulation
	proposed hot water reticulation
	proposed cold water pipe up
	proposed cold water pipe down
	proposed hot water pipe down
	proposed cold water stopcock
	proposed hot water stopcock
	proposed cold tap
	proposed hot tap
	external mounted heat pump as per specialist
	solar geyser on roof with geyser in the ceiling space as per specialist

APPLICATION OF SANS 10400-XA & SANS 204

ZONE 4 - CLASSIFICATION H4 / Dwelling Houses

	REQUIREMENTS	ACTUAL	In order
1	DESIGN REQUIREMENTS	Building to be orientated North/South with longest axis orientated East/West	N/A
2	UNDER SLAB INSULATION	Insulation with minimum R-value of 1.00 to be used under the floorslab where underfloor heating is used	In order
3	WALLS	Masonry walls need to achieve R-value of 0.35	In order
4.1	ROOFING - 27.5 / 15" Metal roof with horizontal ceiling	Heat flow up and the roof system needs to achieve a minimum R-value of 3.7	In order
5	PIPE INSULATION	Internal pipe diameter ≤ 80mm: Minimum R-value of 1.00	In order
6	GEYSER INSULATION	Minimum R-value of 2.00	In order
7.1	LIGHTING - Classification H4	Maximum energy demand of new areas affected	In order
7.2	MAXIMUM ANNUAL ENERGY CONSUMPTION	Maximum energy consumption of new areas affected	In order
8	FENESTRATION	Total area of the fenestration to be less than 15% of the total of the new floor area affected	In order



PEZULA GOLF ESTATE HOA

- All soil and sewer pipes to be concealed
- Pool to be backwashed to sewer
- Swimming pool approved subject to compliance with NBR and Local Authority requirements.

ELECTRICAL LEGEND

	LED Down lighter as per client specification
	Single wall mounted light switch to be mounted at 1300mm above uffi.
	Double wall mounted light switch to be mounted at 1300mm above uffi.
	Triple wall mounted light switch to be mounted at 1300mm above uffi.
	2-way wall mounted light switch to be mounted at 1300mm above uffi.
	Watertight wall mounted light switch to be mounted at 1300mm above uffi.
	Dimmer wall mounted light switch to be mounted at 1300mm above uffi.
	Double wall mounted plug, top of socket to be 1250mm above uffi.
	Double wall mounted plug, top of socket to be 300mm above uffi.
	Double wall mounted watertight plug
	Extractor connection plug @ 2100mm
	Blank conduiting boxes
	Periscope plug as per specification.
	Garage door ceiling mounted motor
	TV point aerial
	Shavers plug
	Telkom point
	Network point
	Stove isolator
	Power Skirting
	(2 x 18 W) 1500 Long 2 tube fluorescent armature with prismatic diffuser suspended from ceiling.
	5 Watt LED Down lighter as per specification
	20 Watt Compacted Fluorescent pendant light as per specification
	(5 Watt x 2) Internal LED Wall mounted light
	(10 Watt x 2) External LED Wall mounted light
	50 Watt External LED Wall mounted spotlight
	13 Watt Internal compact Fluorescent Up Lighter (wall mounted) as per client
	Starlights (wall mounted) as per client
	LED Strip Lighting
	Pool light as per client
	Foot light
	Electrical fence control box.
	Gate Control Unit
	Pre-paid Electricity meter
	Daylight sensor
	Intercom
	Intercom system.
	Alarm
	Hair dryer waterproof plug
	Main distribution board
	Sub distribution board
	Uninterruptible power supply
	Sleeve to be installed for future fibre optic installations, sleeve to be as per specialist.

REVISIONS:

REV	DESCRIPTION	DATE
REV 01 - A	Stairs amended to new NGL level.	2022/10/14
REV 02 - 1	Domestic area added	2022/10/14
REV 02 - 2	Footprint of gate changed	2022/10/14
REV 02 - 3	Fire pit moved	2022/10/14
REV 02 - 4	Boundary wall changed	2022/10/14
REV 02 - 5	New drainage SSS and IE13	2022/10/14
REV 02 - 6	Drainage run amendment due to new domestic	2022/10/14
REV 02 - 7	Water harvest area moved	2022/10/14
REV 02 - 8	Site cage moved	2022/10/14
REV 02 - 9	Deck adjustments and new balustrade added	2022/10/14
REV 02 - 10	Water reticulation amended	2022/10/14
REV 03 - 01	Drainage line moved	2022/10/25
REV 03 - 02	Retaining wall moved	2022/10/25
REV 04 - 01	Gasline moved	2022/10/25

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the clients CHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is priced it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part O. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunplast' ubi green dpm on 50mm sand blinding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gundie' 375 mic. dpc under all walls, window sills and of changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 msl of new floor level. All is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

PROJECT TITLE:

NEW DWELLING ON ERF 11213,
PEZULA GOLF ESTATE, KNYSNA FOR
Mr Malcolm Isaacs

CLIENT SIGNATURE

BLACKHOUND
ARCHITECTURE & RENDERING

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072 799 5597 | 072 118 6867
Unit 10, The Network, 19 Octus Rd
Fairview, Port Elizabeth
6075

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	11213, PEZULA GOLF ESTATE
ERF AREA:	996 sqm
EXISTING AREA:	0 sqm
NEW AREA:	417 sqm
TOTAL AREA:	417 sqm
EX. COVERAGE:	0 sqm 0%
NEW COVERAGE:	257 sqm - 26%
TOTAL COVERAGE:	257 sqm - 26%
NEW GARAGES:	1 x Double Garage
NEW BATHROOMS:	6
POOL:	YES
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	NEW

PROFESSIONAL SIGNOR
ARCHITECTURAL TECHNOLOGIST
JOHANNES STEPHANUS GOUWS

09 10 am (Africa/Johannesburg) on 27 Oct 2022

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PROJECT NO.:

2021_House Isaacs

DRAWING NO.:

20221027_House Isaacs_M507

DRAWN BY:

DMP

PRINT DATE:

27 Oct 2022

REVISION NO.:

04

SHEET NO.:

001