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MINUTES OF THE MAYORAL COMMITTEE MEETING OF BITOU LOCAL MUNICIPALITY HELD IN THE COUNCIL CHAMBER, MUNICIPAL OFFICES, SEWELL STREET, PLETTENBERG BAY ON WEDNESDAY, 27 JUNE 2007 AT 9h04

ITEM M/333/06/07

Subject: ERF 8, PLETTENBERG BAY: PROPOSED REZONING

Department: Public Works

Demarcation: Ward 2

File Ref: 18/8/PB

Resolution by the Executive Mayor

That in terms of Section 16 of the Land Use Planning Ordinance, 1985 (Ord. 15 of 1985) approval be granted for the rezoning of Erf 8, Plettenberg Bay to "Business", subject to compliance with the following conditions:

- (a) That the provisions of the Zoning Scheme Regulations be complied with provided that:
- (i) At least 6 parking bays per 100 m² of business floor area and 1,5 bays for each residential unit will be required;
 - (ii) The Municipality may accept and/or require a financial contribution (determined in accordance with the policy of the Municipal Council in this regard) in lieu of the provision of some of the required on-site parking;
 - (iii) Adequate on-site loading bay facilities have to be provided to the satisfaction of the Municipality;
 - (iv) The Municipality reserves the right to require amendments at building plan stage to ensure compatibility with the "CBD Urban Design/Renewal Strategy";
 - (v) The Municipality may require at building plan stage that provision be made for a certain minimum number of residential units as part of the development project;
- (b) That no vehicular access/egress to/from High Street be permitted;

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- (c) That municipal services, which include the development of such bulk connector and/or storage facilities as may be required, be provided by the land owner/developer at his cost to the satisfaction of the Municipality;
- (d) That the payment of augmentation and related fees as determined by the Head: Public Works in accordance with the policy of the Municipal Council occur prior to building plan approval, and that it be recorded that the Municipality may require a contribution towards the upgrading and/or maintenance of Gibbs Street;
- (e) That the developer / land owner be required to make a financial contribution to the Bitou Local Municipality towards the provision by the Municipality of public amenities, and that this contribution be determined as 1,08 % of the purchase price (at first transfer) of each newly created residential unit;
- (f) That as part of a required social commitment the developer makes a similar amount as that stipulated in (e) above available for payment into a Trust Fund to be created by the Municipal Council towards social upliftment projects;
- (g) That it be recorded that this rezoning approval does not absolve the land owner from compliance with any other relevant legislation;
- (h) That the applicant submits proposals on measures for internal water conservation and waste recycling, for consideration and approval by the Head: Public Works.
- (i) That provision be made for a "splayed corner" at the intersection of High and Gibb Street to the satisfaction of the Municipality, and that the land area required for this "splay" be transferred to the Municipality at the cost of the land owner prior to building plan approval."



Ministry of Local Government, Environmental Affairs and Development Planning
Ministerie van Plaaslike Regering, Omgewingsake en Ontwikkelingsbeplanning
lofisi yoMphathiswa womMandla, ImiCimbi esiNgqongileyo noCwangciso loPhuhliso

"C"

REF: 3/6/3

REGISTERED MAIL

GlenGarriff Enterprises (Pty) Ltd
Posbus 12338
HATFIELD
0028

Sir

APPEAL: PROPOSED REZONING: ERF 8, PLETTENBERG BAY

1. Your appeal dated 17 September 2007, refers.
2. I, the Competent Authority for the administration of the Land Use Planning Ordinance, 1985 (Ordinance 15 of 1985) have in terms of section 44 (1) of the said Ordinance, resolved that the appeal against the Municipality's approval of an application for the rezoning of Erf 8, Plettenberg Bay, from "Single Residential Zone" to "Business Zone", in order to allow the erection of a building comprising of business uses and flats on the property, be dismissed.

Yours faithfully

P. Uys

PIERRE UYS
PROVINCIAL MINISTER FOR LOCAL GOVERNMENT, ENVIRONMENTAL AFFAIRS AND
DEVELOPMENT PLANNING

DATE: 6/3/2009



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GALRIA DEVELOPMENTS CC

TEL: 044 533 2020

FAX: 044 533 2756

14 JULY 2010

ATT: MR. L.M.R NGOQO
MUNICIPAL MANAGER
TOWN COUNCIL
PLETTENBERG BAY

Handwritten: HSTAT: PLANNING

Ref: 18/8/P/B (ERF 8)

Handwritten signature

Handwritten: 15/07/2010

Dear Sir

RE: REZONING, ERF8, PLETTENBERG BAY, 6600

I would like to request for an extension on the rezoning of Erf 8, Plettenberg Bay, 6600 for another 2 (two) years.

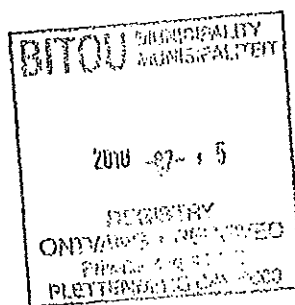
The reasons that I have not yet begun to build is that recession has hit everyone and the marketing of the units have not been very successful.

Thanking you kindly

Kind regards

Handwritten signature: Ngalic

Nic Galic
Director
0826526501



CC NO 2005/009842/23
P.O. BOX 17
PLETTENBERG BAY
6600