

SITE LOCALITY

NOT TO SCALE

APPLICATION OF SANS 10400-XA (Ed.2)																																															
ZONE 4 - CLASSIFICATION F2 / Small Shops																																															
		REQUIREMENTS	ACTUAL	STATUS																																											
1	DESIGN	The orientation is in accordance with the requirements of 5.1	Building facing North/South with longest axis orientated East/West	In order																																											
2	SHADING	The shading is in accordance with the requirements of 5.2	See Fenestration calculations	In order																																											
3	FENESTRATIONS & ROOF LIGHTS	The fenestration is in accordance with the requirements of 5.3	See Fenestration calculations	In order																																											
4	FLOOR INSULATION for under floor heating	The floors are in accordance with the requirements of 5.4	Not applicable	In order																																											
5	EXTERNAL WALLS Surface density > 270kg/m²	The external walls are in accordance with the requirements of 5.5 (Table 6)	Not applicable	In order																																											
6	ROOF & CEILING ASSEMBLY	The roof and ceiling assemblies are in accordance with the requirements of 5.6	Not applicable	In order																																											
7	BUILDING SEALING	The building sealing is in accordance with the requirements of 5.7	A foam or rubber compressible strip or a fibrous seal to restrict air leakage shall be fitted to each edge of an external door and other such opening that serves a habitable room. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.	In order																																											
8	HOT WATER Classification F2 - Small shop	The building hot water is in accordance with the requirements of 6.1 Design population: 10 pp/m² Total sgsm of Unit: 237 m² $\frac{10 \text{ Persons per sqm} \times 237 \text{ Total sgsm of Unit}}{24 \text{ Occupancy}}$	Average annual hot water usage: 10 L/p/d $\frac{\text{Annual hot water consumption: } 10 \times 24}{60} = 240 \text{ L/p/d}$ Stipulated 24hr hot water @ 60°C min: 6 L/p Minimum solar hot water storage: $\frac{(4)^*1.5 \times 24}{60} = 216 \text{ Lp}$ Stipulated 24hr hot water @ 60°C min: 6 L/p Minimum heat pump hot water storage: $\frac{6 \times 24}{60} = 144 \text{ Lp}$	In order																																											
			PIPE INSULATION (hot water pipe)	Internal pipe diameter ≤ 80mm: Minimum R-value of 1.00	<table><tr><td></td><td>mm</td><td>W/m.K</td><td>R-Val.</td></tr><tr><td>Closed cell elastomeric thermal insulation</td><td>38</td><td>0,036</td><td>1,06</td></tr></table> Total R-value: Req. 1.0 1.06		mm	W/m.K	R-Val.	Closed cell elastomeric thermal insulation	38	0,036	1,06	In order																																	
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9	LIGHTING Classification H4	MAXIMUM ENERGY DEMAND Constant = 8 W/m² $\frac{237 \text{ m}^2 \times 8 \text{ W/m}^2}{1896 \text{ W}} \text{ (MAX.)}$ MINIMUM LUX Minimum light lux level: 100 The lighting lux is in accordance with the requirements of SANS10114 $\frac{237 \text{ m}^2 \times 100 \text{ Lux}}{23700 \text{ Min. Lux}}$	INTERIOR LIGHTS: <table><tr><td>Qty.</td><td>Watts</td><td>Lm/W</td></tr><tr><td>LED DN Lights:</td><td>059 10</td><td>80</td></tr><tr><td>LED hanging light:</td><td>009 20</td><td>160</td></tr><tr><td>LED Wall Lights:</td><td>000 06</td><td>100</td></tr><tr><td>Compact Fluio, light:</td><td>000 20</td><td>58</td></tr><tr><td>Fluorescent light:</td><td>000 36</td><td>79</td></tr></table> SUB TOTAL: 770 76000 EXTERIOR LIGHTS: <table><tr><td>Qty.</td><td>Watts</td><td>Lm/W</td></tr><tr><td>LED DN Lights:</td><td>000 000</td><td>80</td></tr><tr><td>LED UP/DN Lights:</td><td>000 000</td><td>160</td></tr><tr><td>LED Wall Lights:</td><td>000 000</td><td>100</td></tr><tr><td>Compact Fluio, light:</td><td>000 000</td><td>56</td></tr><tr><td>Fluorescent light:</td><td>000 000</td><td>79</td></tr></table> SUB TOTAL: 0 0 TOTAL (watts & Lumens): 770 76000 ENERGY DEMAND: 770W / 237m² 3.25W/m² ≈ 8W/m² LIGHT LUX: <table><tr><td>Minimum Lux:</td><td>23700</td><td>Lumens</td></tr><tr><td>Current Lux:</td><td>76000</td><td>Lumens</td></tr></table>	Qty.	Watts	Lm/W	LED DN Lights:	059 10	80	LED hanging light:	009 20	160	LED Wall Lights:	000 06	100	Compact Fluio, light:	000 20	58	Fluorescent light:	000 36	79	Qty.	Watts	Lm/W	LED DN Lights:	000 000	80	LED UP/DN Lights:	000 000	160	LED Wall Lights:	000 000	100	Compact Fluio, light:	000 000	56	Fluorescent light:	000 000	79	Minimum Lux:	23700	Lumens	Current Lux:	76000	Lumens	In order	
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MUNICIPAL INFORMATION:	
Erf No.:	ERF 15, BAYWEST
Existing Erf Area:	n/a
Existing floor Area:	n/a
New floor Area:	n/a
Total Floor Area:	n/a
Ex. Coverage:	n/a
Prop. Coverage:	n/a
Total Coverage:	n/a
NEW GARAGES:	n/a
NEW BATHROOMS:	2

TOWN PLANNING INFO.		
	(Permitted)	(Proposed)
Zoning:	Business 1	Business 1
Height Restriction:	n/a	n/a
Building Line Front	n/a	n/a
Building Line Sides	n/a	n/a
Building Line Rear	n/a	n/a
Ex. Coverage:	n/a	n/a
Prop. Coverage:	n/a	n/a
Total Coverage:	n/a	n/a
FSI	n/a	n/a
PARKING BAYS	n/a	n/a

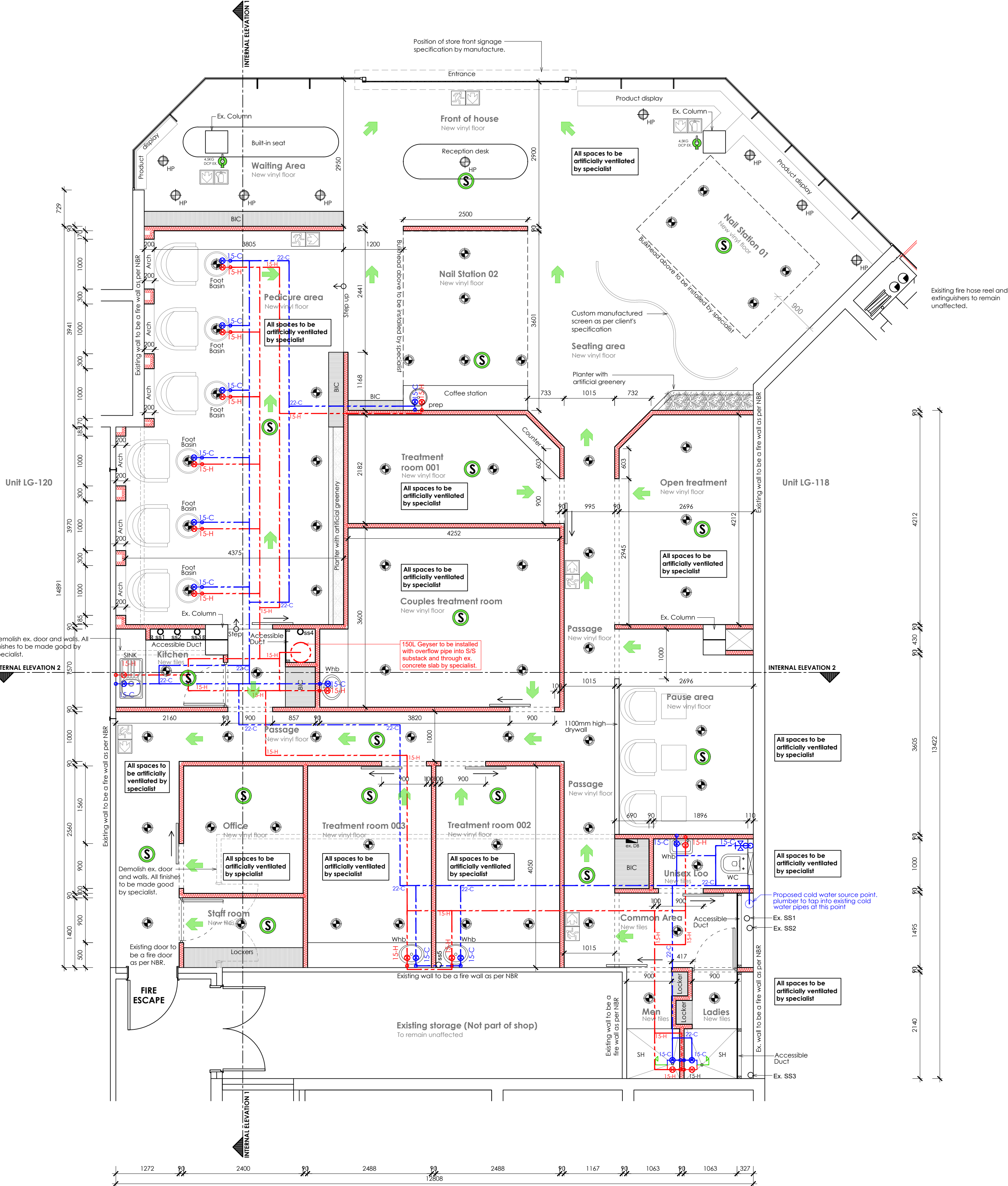
WATER RETICULATION LEGEND		
	proposed cold water source point, plumber to tap into existing cold water retic at this point!	75mm flexible polyester insulation to new geyser to achieve R-value of 2.00
	proposed cold water reticulation	
	proposed hot water reticulation	50mm flexible polyester insulation to call new hot water pipes to achieve R-value of 1
	proposed cold water stopcock	
	proposed cold tap	
	proposed hot tap	
	shower head	

ELECTRICAL LEGEND

	5 Watt LED Down lighter as per specification
	20 Watt Compacted Fluorescent hanging pendant light as per specification
	Sub distribution board

FIRE PLAN LEGEND

Smoke Detectors	
Signage for direction of fire escape route	
Signage for fire extinguisher	
Fire extinguisher	4.5KG / 1.1KG DCP 1A 
Fire escape route	



FLOOR PLAN

SCALE 1:50

Smoke Detectors	
Signage for direction of fire escape route	
Signage for fire extinguisher	
Fire extinguisher	4502 / 100 DCP EX 
Fire escape route	

[illegible]

GENERAL NOTES:

all dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise stated. Contractors must ensure that all materials, regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry or a subcontractor of such a contractor. The drawings must be read in conjunction with the clients OHS (Occupational Health and Safety) Policy and the relevant Australian Standards and the National Building Regulations SANS 10400. Before the drawing is priced it is the contractor's responsibility to ensure he is familiar with the drawings and specifications. It is the contractor's responsibility, similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All materials to be used shall be taken from approved sources and be fitted to comply with the relevant code of practice as specified in SANS 10400, Part C. All new work to be made good with new material and drawn to match existing work. H.G. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported immediately to the architect. It is the contractor's responsibility to architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum concrete depth to reinforcement bars in foundation drawings to be on 250 mm "gunpins" use green sand on 50mm sand over compacted hardcore. Reinforcement bars to be more than 150mm. SABS Approved "gundie" 375 m/c, 6" diameter walls, window sills and at changes in floor levels. These details may vary slightly from those shown on drawings. Architects and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations and standards. All work to be inspected by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations and standards. All work to be taken on site by roof specialist prior to roof construction. All life layouts to be confirmed with architect prior to commencing. Levels shall be indicated on drawings and shall be based on a datum level. Msl is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep records of all measurements and calculations and be responsible for the correct setting out of the building on site with regard to its position and orientation. Contractor to be fully responsible for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSION

PROJECT TITLE:

NEW SHOP LAYOUT (Unit: LG-119) ON
ERF 15, BAYWEST, PORT ELIZABETH FOR
HANGAR 18 INVESTMENTS PTY LTD

17 Sep 25

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CLIENT SIGNATURE

bh **BLACKHOUND**
ARCHITECTURE & RENDERING

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 Fairview, Port Elizabeth, 6070

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	15, Baywest
ERF AREA:	180175 sqm
EXISTING AREA:	n/a
NEW AREA:	n/a
TOTAL AREA:	n/a
EX. COVERAGE:	n/a
NEW COVERAGE:	n/a
TOTAL COVERAGE:	n/a
NEW GARAGES:	n/a
NEW BATHROOMS:	2
POOL:	n/a
BOUNDARY WALLS:	n/a
AGE OF BUILDING:	n/a



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PROJECT NO.:

2025_Indalo spc

DRAWING NO.:
20250814_1.ppt

DRAWN BY:

Brett Kolesky

PRINT DATE: 17-01-2025

REVISION NO.:

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SHEET NO.:

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