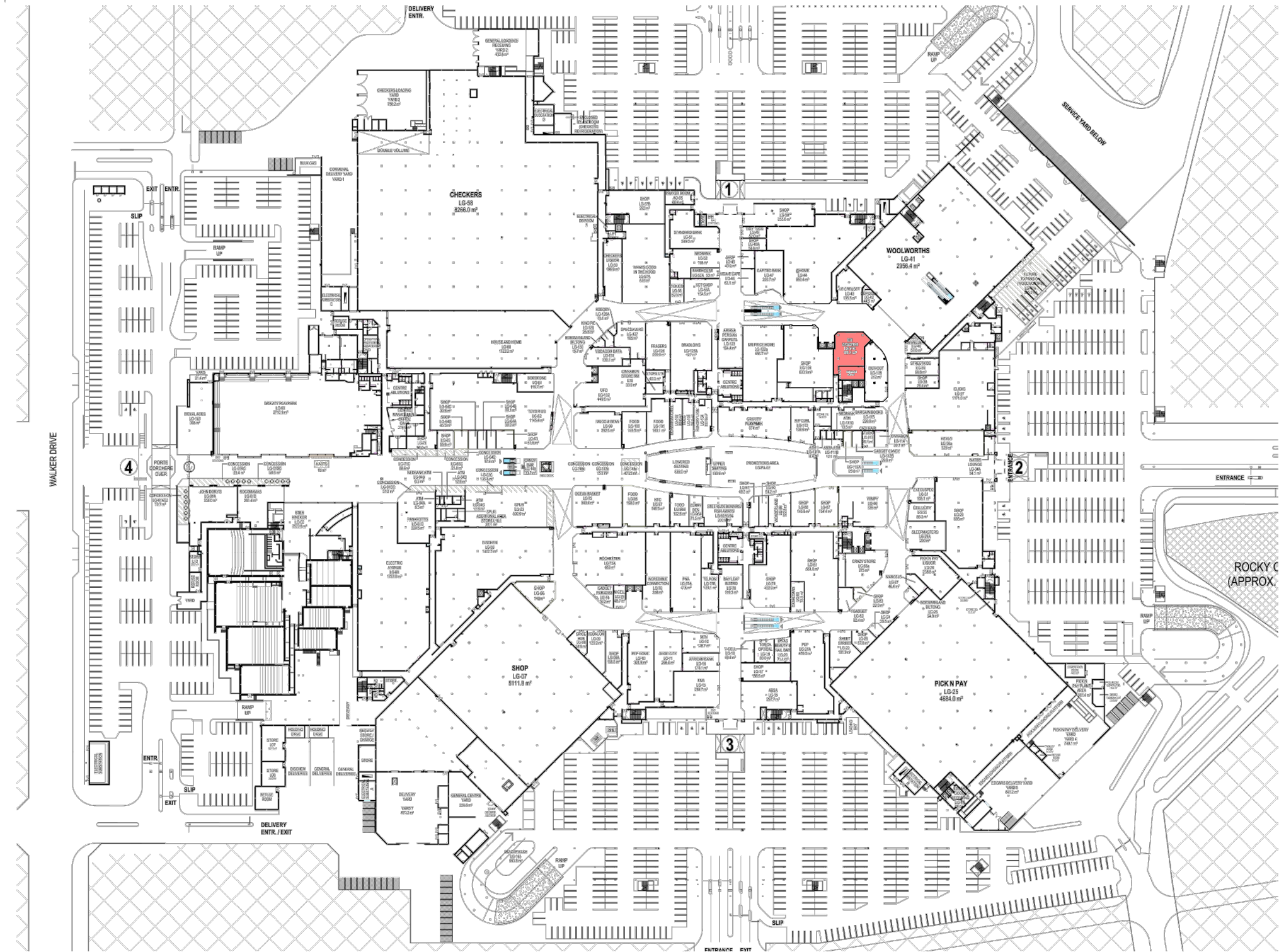




SITE LOCALITY

NOT TO SCALE

APPLICATION OF SANS 10400-XA (Ed.2)				
ZONE 4 - CLASSIFICATION F2 / Small Shops				
	REQUIREMENTS	ACTUAL	STATUS	
1	DESIGN	The orientation is in accordance with the requirements of 5.1	Building facing North/South with longest axis orientated East/West	In order
2	SHADING	The shading is in accordance with the requirements of 5.2	See Fenestration calculations	In order
3	FENESTRATIONS & ROOF LIGHTS	The fenestration is in accordance with the requirements of 5.3	See Fenestration calculations	In order
4	FLOOR INSULATION for under floor heating	The floors are in accordance with the requirements of 5.4	Not applicable	In order
5	EXTERNAL WALLS Surface density > 270kg/m²	The external walls are in accordance with the requirements of 5.5 (Table 6)	Not applicable	In order
6	ROOF & CEILING ASSEMBLY	The roof and ceiling assemblies are in accordance with the requirements of 5.6	Not applicable	In order
7	BUILDING SEALING	The building sealing is in accordance with the requirements of 5.7	A foam or rubber compressible strip or a fibrous seal to restrict air leakage shall be fitted to each edge of an external door and other such opening that serves a habitable room. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.	In order
8	HOT WATER Classification F2 - Small shop	The building hot water is in accordance with the requirements of 6.1	Average annual hot water usage: 10 L/p/d Annual hot water consumption: 240 Up/d Design population: 10 pp/m² Total sqm of Unit: 237 m² Minimum solar hot water storage: (6/11.5) x 24 = 216 Lp Stipulated 24hr hot water @ 60°C min: 6 L/p Minimum heat pump hot water storage: 6 x 24 = 144 Lp	In order
	PIPE INSULATION (hot water pipe)	Internal pipe diameter ≤ 80mm: Minimum R-value of 1.00	Closed cell elastomeric thermal insulation mm W/m.K R-Val. 38 0.036 1.06	In order
9	LIGHTING Classification H4	MAXIMUM ENERGY DEMAND Constant = 8 W/m² 237 m² x 8 W/m² = 1896 W (MAX.) MINIMUM LUX Minimum light lux level: 100 The lighting lux is in accordance with the requirements of SANS10114	INTERIOR LIGHTS: Qty. Watts Lm/W LED DN Lights: 059 10 80 LED hanging light: 009 20 160 LED Wall Lights: 000 04 100 Compact Flu. light: 000 20 58 Fluorescent light: 000 36 79 SUB TOTAL: 770 76000 EXTERIOR LIGHTS: Qty. Watts Lm/W LED DN Lights: 000 000 80 LED UP/DN Lights: 000 000 160 LED Wall Lights: 000 000 100 Compact Flu. light: 000 000 56 Fluorescent light: 000 000 79 SUB TOTAL: 0 0 TOTAL (watts & Lumens): 770 76000 ENERGY DEMAND: 770W / 237m² 3.25W/m² ≈ c 8W/m² LIGHT LUX: 237 m² x 100 Lux = 23700 Min. LUX 23700 Lumens >= 76000 Lumens	In order

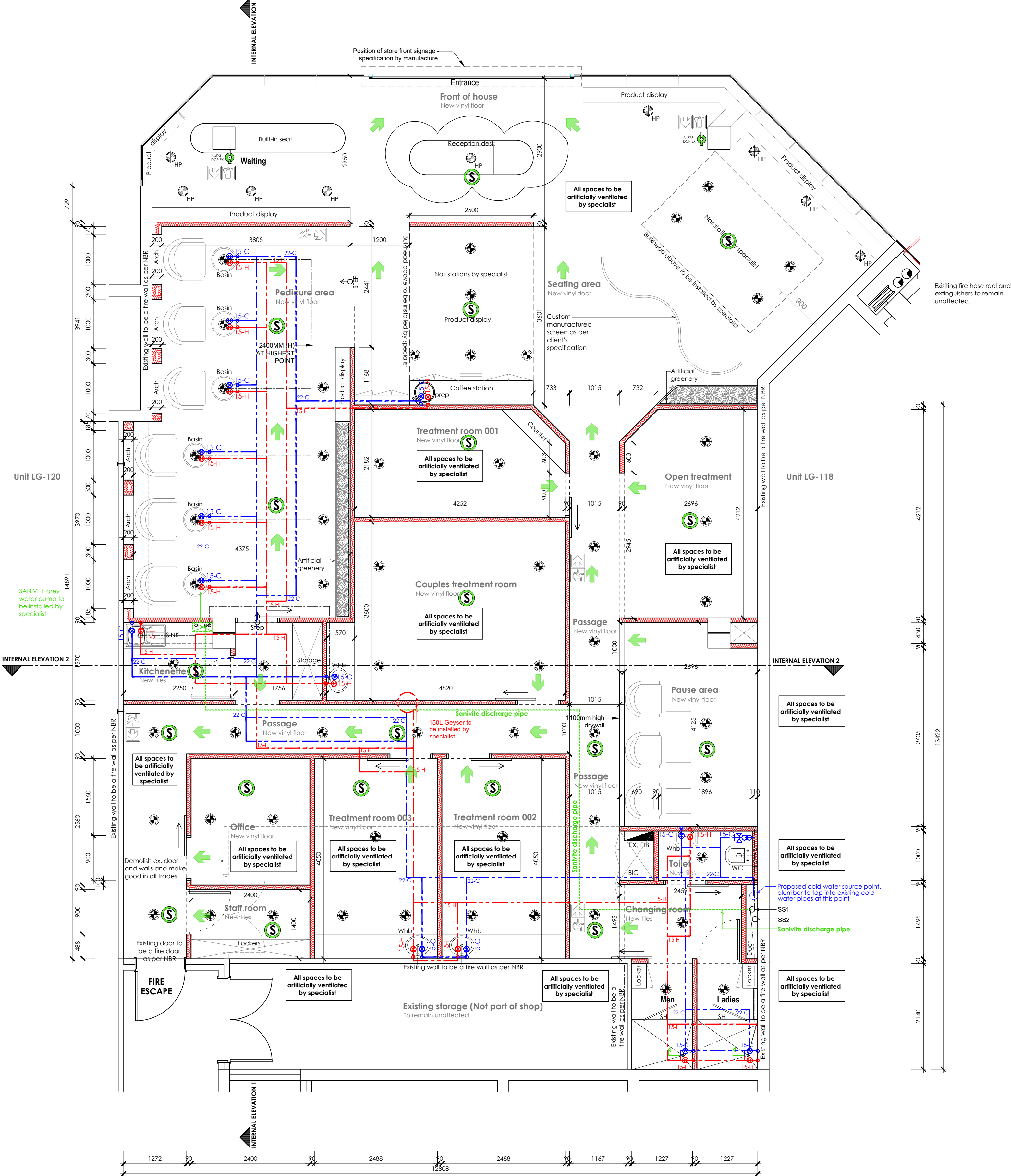
MUNICIPAL INFORMATION:	
Erf No.:	ERF 15, BAYWEST
Existing Erf Area:	n/a
Existing floor Area:	n/a
New floor Area:	n/a
Total Floor Area:	n/a
Ex. Coverage:	n/a
Prop. Coverage:	n/a
Total Coverage:	n/a
NEW GARAGES:	n/a
NEW BATHROOMS:	2

TOWN PLANNING INFO.		
	(Permitted)	(Proposed)
Zoning:	Business 1	Business 1
Height Restriction:	n/a	n/a
Building Line Front	n/a	n/a
Building Line Sides	n/a	n/a
Building Line Rear	n/a	n/a
Ex. Coverage:	n/a	n/a
Prop. Coverage:	n/a	n/a
Total Coverage:	n/a	n/a
FSI	n/a	n/a
PARKING BAYS	n/a	n/a

WATER RETICULATION LEGEND	
	55mm flexible polyester plumber tap into existing cold water pipes at this point
	municipal water connection and stop cock
	proposed cold water reticulation
	proposed hot water reticulation
	50mm flexible polyester plumber tap into all new hot water pipes to achieve R-value of 1
	proposed cold tap
	proposed hot tap
	shower head

ELECTRICAL LEGEND	
	5 Watt LED Down lighter as per specification
	20 Watt Compact Fluorescent hanging pendant light as per specification
	Sub distribution board

FIRE PLAN LEGEND	
Smoke Detectors	
Signage for direction of fire escape route	
Signage for fire extinguisher	
Fire extinguisher	
Fire escape route	



FLOOR PLAN

SCALE 1:50

REVISIONS:

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the client's OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is priced it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10000 Part 0. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunshot' abs green dpm on 50mm sand binding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gundie' 375 mic. dpc under all walls, window cills and at changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All floor layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 msl of new floor level. MSL is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSION

PROJECT TITLE:

NEW SHOP LAYOUT (Unit: LG-119) ON
ERF 15, BAYWEST, PORT ELIZABETH FOR
HANGAR 18 INVESTMENTS PTY LTD

CLIENT:

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Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth, 6070

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO.:	15, Baywest
ERF AREA:	180175 sqm
EXISTING AREA:	n/a
NEW AREA:	n/a
TOTAL AREA:	n/a
EX. COVERAGE:	n/a
NEW COVERAGE:	n/a
TOTAL COVERAGE:	n/a
NEW GARAGES:	n/a
NEW BATHROOMS:	2
POOL:	n/a
BOUNDARY WALLS:	n/a
AGE OF BUILDING:	n/a



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DRAWING NO.:	20250827_Indalo spa_M501	SHEET NO.:	101
DRAWN BY:	Brett Kolesky		
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