



CLIFFE DE
12th Floor
11 Buitengracht Street
Cape Town
8001

Fee Endorsement		Office Fee
	Amount	
Purchase Price/Value	R 1 30000 000 000	R 6571 00
Mortgage	MEYR INC.	R
ALL OTHER REGISTRATIONS		R
Reason For Exemption	Category Exemption	Exempt i.t.o Sect/Reg Act/Peng

Prepared by me

CONVEYANCER
MICHAEL RHODES COLLINS (79429)

VERBIND		MORTGAGE	
VIR FOR R 1 425 000 000 00			
B	377/2024		
2024-01-29			
REGISTRAR OF DEEDS			

T	875/2024
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DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

~~ALLEN GRAHAM CLARKE (86069)~~

ALLEN GRAHAM CLARKE (86069)

appeared before me, REGISTRAR OF DEEDS at KING WILLIAM'S TOWN, the said appearer being duly authorised thereto by a Power of Attorney granted to him/her by

BAY WEST CITY PROPRIETARY LIMITED
Registration Number 2008/020750/07
(In Business Rescue)

which said Power of Attorney was signed at Cape Town on 16th November 2023

And the appearer declared that his/her said principal had, on 21 August 2023, truly and legally sold by Private Treaty, and that he/she, the said Appearer, in his/her capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

HANGAR 18 INVESTMENTS PROPRIETARY LIMITED
Registration Number 2023/741896/07

or its Successors in Title or assigns, in full and free property

ERF 15 BAY WEST, IN THE NELSON MANDELA BAY METROPOLITAN MUNICIPALITY, DIVISION PORT ELIZABETH, PROVINCE OF EASTERN CAPE

IN EXTENT 18,0177 (EIGHTEEN COMMA ZERO ONE SEVEN SEVEN) Hectares

FIRST registered and still held by Certificate of Registered Title Number T70993/2017CTN with Diagram SG Number 480/2017 relating thereto.

I. INSOFAR the figure z y x w v D E F G H J K L M N P Q R S T U V W X Y Z 1A 1B 1C 1D 1E 1F 1G 1H 1J 1K 1L 1M 1N 1P 1Q 1R 1S 1T 1U 1V 1W 1X 1Y 1Z 2A 2B 2C 2D 2E 2F 2G 2H 2J 2K 2L 2M 2N 2P 2Q 2R 2S 2T 2U 2V 2W on Diagram S.G. 480/2017 –

A. SUBJECT to the conditions referred to in Deed of Transfer No. T6784/1930 save in so far as these may have since lapsed or been cancelled.

B. By Deed of Transfer No. T78249/2007, the within property is SUBJECT to a servitude restricting the use of the said property imposed by and in favour of ENGEN PETROLEUM LIMITED, No. 1989/003754/06, and its Assigns, subject to the following provisions, namely :

Without the prior written consent in writing of the said Engen Petroleum Limited –

(a) neither the said property nor any part thereof shall be used in any way for any purpose of or in connection with the sale or distribution of any automotive fuels or petroleum products, or for the purpose of carrying on any business of an automotive fuel filling station or a service station or a motor garage;

(b) no automotive, fuel or petroleum product shall be stored, handled used, sold, dealt in or distributed on, through or from the said property or any portion thereof except those approved by the said Engen Petroleum Limited in writing;

Provided that Engen Petroleum Limited may in its absolute discretion without its said consent without having to assign any reason therefore, and in giving any such consent may impose such conditions attaching thereto as it in its absolute discretion may deem fit.

II. INsofar the figure A B C v w x y z on Diagram S.G. Number 480/2017

A. SUBJECT to the conditions referred to in Deed of Transfer No. T6784/1930 save in so far as these may have since lapsed or been cancelled.

B. By Notarial Deed of Servitude Number ~~3~~⁶K1587/2017S the within property is SUBJECT to a servitude restricting the use of the said property imposed by and in favour of ENGEN PETROLEUM LIMITED, Registration Number 1989/003754/06, and its Assigns, subject to the following provisions, namely :

Without the prior consent in writing of the said Engen Petroleum Limited –

(a) Neither the said property nor any part thereof shall be used in any way for any purpose of or in connection with the sale, storage, handling or distribution of any automotive fuels or petroleum products, or for the purpose of carrying on any business of an automotive fuel filling station or a service station;

(b) No automotive, fuel or petroleum product shall be stored, handled, used, sold, dealt in or distributed on, through or from the said property or any portion thereof except those approved by the said Engen Petroleum Limited in writing.

Provided that Engen Petroleum Limited may in its absolute discretion withhold its said consent without having to assign any reason therefor, and in giving any such consent may impose such conditions attaching thereto as it in its absolute discretion may deem fit.

III. INsofar the whole of the property is concerned -

SUBJECT to the following condition contained in Certificate of Registered Title No. T.70981/2017 imposed by The South African National Roads Agency SOC Limited, Registration Number 1998/009584/30 ("SANRAL") in terms of section 49(5)(a) and (b) of the National Roads Act, 1998 (Act 7 of 1998) when approving the rezoning of Portion 131 of the Farm Little Chelsea Number 10

(a) No structure or anything whatsoever shall be erected, constructed or established within a distance of twenty (20) metres measured from the national road reserve boundary including the new interchanges, without the written approval of SANRAL.

(b) In the event of any of this land being consolidated with any other land, the title to the consolidated land shall be subject to the abovementioned condition.

IV. By virtue of Notarial Deed of Servitude No. K1587/2017S dated 19 October 2017 –

As will more fully appear from the said Notarial Deed.

- V. By virtue of Notarial Deed of Servitude No. K1587/2017S dated 19 October 2017

The within mentioned property is subject to a water pipe line servitude area as will more fully appear from the annexed servitude diagram S.G. Number 499/2017, the centre line of which water pipeline servitude is 0,80 (zero comma eight zero) metres wide, which servitude is shown and represented by the figure H J K on the said diagram and subject to the ancillary rights in favour of Erf 6 Bay West.



WHEREFORE the said Appearer, renouncing all rights and title which the said

BAY WEST CITY PROPRIETARY LIMITED
Registration Number 2008/020750/07

heretofore had to the premises, did in consequence also acknowledge it to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

HANGAR 18 INVESTMENTS PROPRIETARY LIMITED
Registration Number 2023/741896/07

or its Successors in Title or assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R1 300 000 000,00 (ONE BILLION THREE HUNDRED MILLION RAND) excluding VAT in the sum of R0,00 (NIL RAND), total consideration paid by the transferee to the transferor being the amount of R1 300 000 000,00 (ONE BILLION THREE HUNDRED MILLION RAND).

IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at KING WILLIAM'S TOWN on 2024-01-29

In my presence

REGISTRAR OF DEEDS

q.q.



CLIFFE DEKKER HOFMEYR INC
12th Floor
11 Buitengracht Street
Cape Town
8001

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Prepared by me

CONVEYANCER
MICHAEL RHODES COLLINS (79429)

POWER OF ATTORNEY TO PASS TRANSFER

I, the undersigned

JACQUES DU TOIT and PHAHLANI LINCOLN MKHOMBO
In our capacity as business rescue practitioners of
BAY WEST CITY PROPRIETARY LIMITED
Registration Number 2008/020750/07
as will appear from Notice of Appointment of business rescue
practitioners filed with the CIPC on 14th October 2022

do hereby nominate and appoint **ALLEN GRAHAM CLARKE, 86069**
AMANDA LOUISE FRIDERICH, 88271, JACOBUS DE HART BURGER, 79718
MARIA MAGDALENA JORDAAN, 82597

with power of substitution to be my true and lawful Attorney and Agent in my name,
place and stead to appear at the Office of the REGISTRAR OF DEEDS at KING
WILLIAM'S TOWN or any other competent official in the Republic of South Africa
and then and there to act as my Attorney and Agent and to pass transfer to:

HANGAR 18 INVESTMENTS PROPRIETARY LIMITED
Registration Number 2023/741896/07

the property described as:

ERF 15 BAY WEST, IN THE NELSON MANDELA BAY METROPOLITAN
MUNICIPALITY, DIVISION PORT ELIZABETH, PROVINCE OF EASTERN
CAPE

IN EXTENT 18,0177 (EIGHTEEN COMMA ZERO ONE SEVEN SEVEN)
Hectares

HELD BY Certificate of Registered Title Number T70993/2017 - C1N

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the said property having been sold by me on 21 August 2023, to the said transferee/s for the sum of R1 300 000 000,00 (One Billion Three Hundred Million Rand) excluding VAT in the sum of R0,00 (NIL RAND), total consideration paid by the transferee to the transferor being the amount of R1 300 000 000,00 (ONE BILLION THREE HUNDRED MILLION RAND)

and further cede and transfer the said property in full and free property to the said Transferee; to renounce all right, title and interest which the Transferor heretofore had in and to the said property, and generally, for effecting the purposes aforesaid, to do or cause to be done whatsoever shall be requisite, as fully and effectually, to all intents and purposes, as the Transferor might or could do if personally present and acting therein; hereby ratifying, allowing and confirming all and whatsoever the said Agent/s shall lawfully do or cause to be done in the premises by virtue of these presents.

Signed at *CAPE TOWN* on *16th NOVEMBER 2023*
in the presence of the undersigned witnesses.

AS WITNESSES :

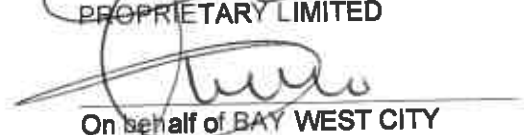
1.



2.



On behalf of BAY WEST CITY
PROPRIETARY LIMITED



On behalf of BAY WEST CITY
PROPRIETARY LIMITED



Squire, Smith & Laurie Inc.
No. 98/21579/21

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Tel : 043 642 3430

Transfer Duty
Declaration

TDREP

Reference Details

Transfer Duty Reference Number: TDE058C0FE

Details

Details of Seller / Transferor / Time Share Company

Surname / Registered Name BAY WEST CITY PROPRIETARY LIMITED
Company / CC / Trust Reg No. 200802075007

Full Name BAY WEST CITY PROPRIETARY LIMITED
Marital Status

Details of Purchaser / Transferee

Full Name HANGAR 18 INVESTMENTS PROPRIETARY LIMITED
Company / CC / Trust Reg No. 202374189807

Surname / Registered Name HANGAR 18 INVESTMENTS PROPRIETARY LIMIT
Marital Notes If applicable

Details of the Property

Date of Transaction/Acquisition (CCYYMMDD)

2023-08-21

Total Fair Value

R

1300000000.00

Total Consideration

R

1300000000.00

Calculation of Duty and Penalty / Interest

Transfer Duty Payable
on Natural Person

R

0.00

Property Description

1 ERF 16 BAY WEST, IN THE NELSON MANDELA BAY METROPOLITAN MUNICIPALITY, DIVISION PORT ELIZABETH, PROVINCE OF EASTERN CAPE IN EXTENT 18,0177 (EIGHTEEN COMMA ZERO ONE SEVEN SEVEN) Hectares

Exemption Certificate

Exemption Certificate Details

Transfer Duty Reference No. TDE058C0FE

Exempt in terms of Section 9 of the
Transfer Duty Act

Other

Exemptions allowed by another Act Section 9(15)

Declaration by Conveyancer / Attorney

I certify that this is a true copy of the
transfer duty declaration / receipt /
exemption certificate drawn from the
SARS eFiling site, which will be
retained by me for 5 years from the
date of registration of transfer.

MICHAEL RHODES COLLINS

Please ensure you sign over
the 2 lines of 'X's above

Date
(CCYYMMDD)

20231130

For enquiries go to
www.sars.gov.za or call
0800 00 SARS (7277)



nelson mandela bay
MUNICIPALITY

BUDGET & TREASURY

Tel: 61031

P.O. Box 834, Port Elizabeth 6000

Republic of South Africa

Your Ref: Cliffe Dekker Hofmeyer (CA)

CERTIFICATE NO: **66,240**

CERTIFICATE IN TERMS OF SECTION 118

ISSUED BY NELSON MANDELA BAY METROPOLITAN MUNICIPALITY

In terms of section 118 of the Local Government Municipal Systems Act, 2000 (Act 32 of 2000), it is hereby certified that all amounts that became due to Nelson Mandela Bay Metropolitan Municipality in connection with the under mentioned property situated within that municipality for municipal service fees, surcharges on fees, property rates and other municipal taxes, levies and duties during the two years preceding the date of application for this certificate, have been fully paid.

DESCRIPTION OF PROPERTY

Erven: 15 BAY WEST

Situated in the Nelson Mandela Bay Metropolitan Municipality, Division of PORT ELIZABETH, Province of the Eastern Cape.

Extension:

Zoning:

Suburb: BAY WEST

Town: PORT ELIZABETH

Registered owner:

BAY WEST CITY (PTY) LTD R/N 200802075007(100.0%)

This certificate is valid until 29-January-2024

Issued at Port Elizabeth, on 01-December-2023

Digitally signed by Nelson Mandela Bay Municipality

Signee: Mercla Hancock

Sign date: 04/12/2023 10:07:40

For MUNICIPAL MANAGER

NELSON MANDELA BAY METROPOLITAN MUNICIPALITY

Date Issued: 01-December-2023

Authorised Officer: Mercla Hancock

Certificate By Conveyancer:

I MICHAEL RHODES COLLINS (full name and surname) hereby certify that this is a printout of a data message in respect of the original clearance certificate electronically issued by the Nelson Mandela Metropolitan Municipality.

Conveyancer

Date

5/12/2023