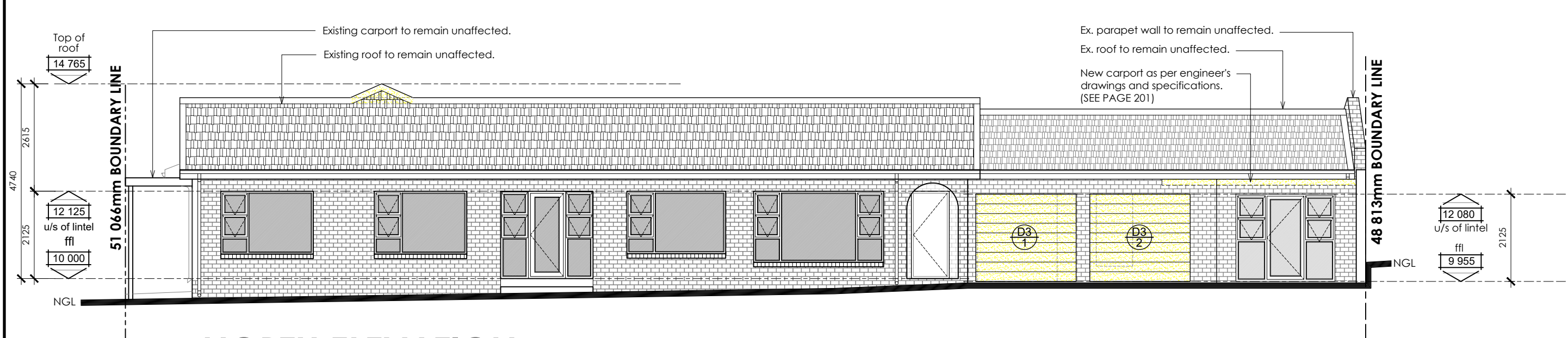
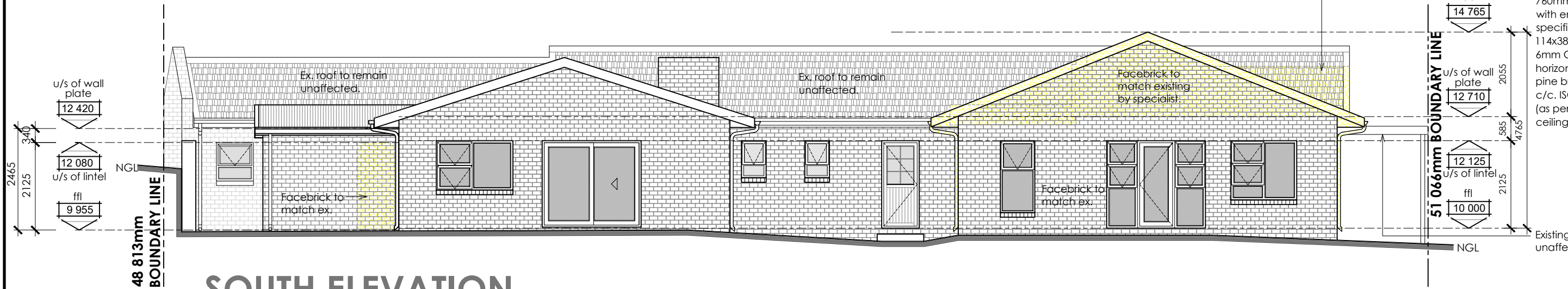
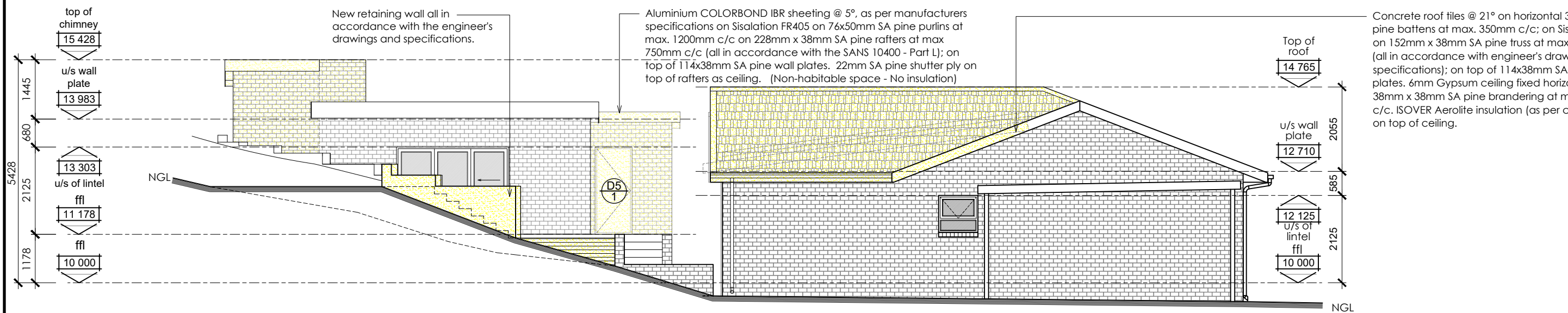




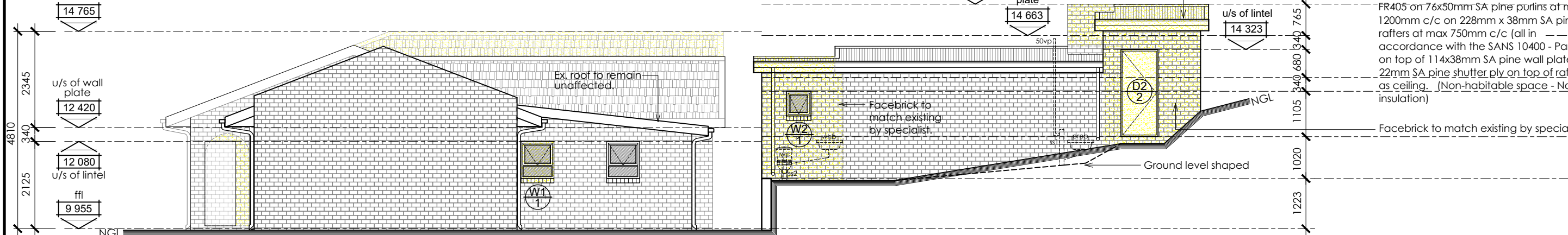
NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



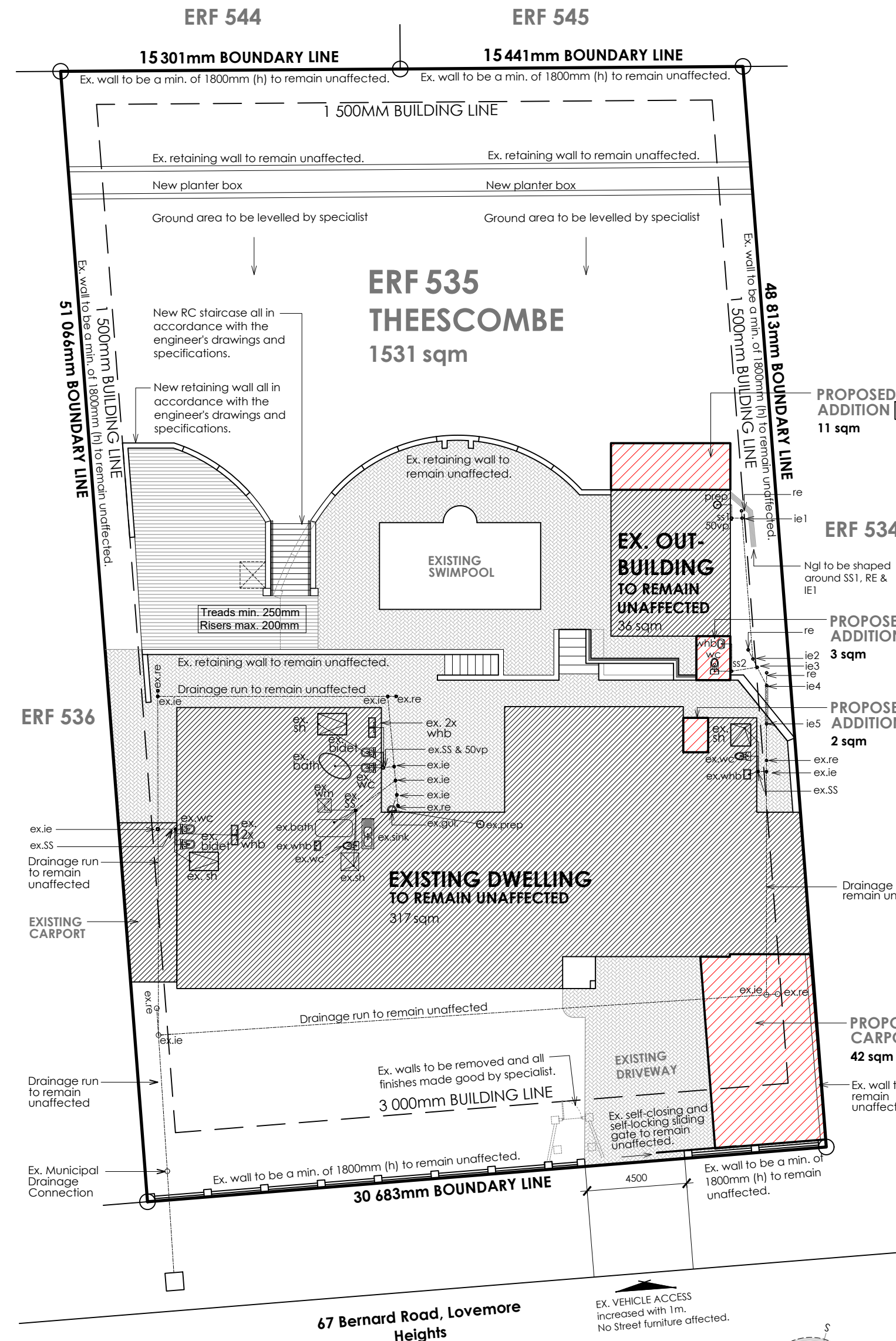
EAST ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

NORTH ELEVATION / OUTBUILDING
SCALE 1:100

MUNICIPAL INFORMATION:	
Erf No.:	ERF 535, THEESCOMBE
Existing Erf Area:	1531 sqm
Existing floor Area:	353 sqm
New floor Area:	58 sqm
Total Floor Area:	411 sqm
Ex. Coverage:	353 sqm - 23.06%
Prop. Coverage:	58 sqm - 3.79%
Total Coverage:	411 sqm - 27%
NEW GARAGES:	1
NEW BATHROOMS:	0
TOWN PLANNING INFO.	
Zoning:	(Permitted) Single Res 1 (Proposed) Single Res 1
Height Restriction:	8.5M 8.5M
Building Line Front:	3000mm 3000mm
Building Line Sides:	1500mm 1500mm
Building Line Rear:	1500mm 1500mm
Ex. Coverage:	353 sqm - 23.06%
Prop. Coverage:	58 sqm - 3.79%
Total Coverage:	919 sqm - 60% 411 sqm - 27%
FSI	0.60 0.27
PARKING REQUIRED:	
Residential dwelling	1 Bay 1 Bay



Site Plan
Scale : 1:200

REVISIONS:

GENERAL NOTES:

All dimensions to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all local authority's regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the client's OHS (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations SANS 10400. Before this drawing is issued it is the contractor's responsibility to ensure he is familiar with the site. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All light fittings to be fitted to comply with the relevant code of practice as specified in SANS 10400: Part 0. All new work to be made good with existing. This drawing is not to be scaled unless printed by H. Gouws renders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm thick concrete surface bed as per Engineers drawings to be on 250 mic. 'gunplas' ub's green dpm on 50mm sand binding layer and on well compacted fill in layers not more than 150mm. SABS Approved 'gunder' 375 mic. dpc under all walls, window cills and at changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations. The contractor is responsible for all site visits by local inspectors and pay all fees in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All tile layouts to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark of 100.00 msl of new floor level. Msl is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

FOR INFORMATION ONLY

PROJECT TITLE:

ADDITIONS AND ALTERATIONS ON ERF
535, THEESCOMBE , PORT ELIZABETH
FOR Mr & Mrs Da Serra

CLIENT SIGNATURE:

bh BLACKHOUND
ARCHITECTURE & RENDERING

dewald@blackhousedownterprises.com
072 799 5597 | 072 418 6867
https://blackhousedownterprises.com
Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth, 6070

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO.:	535, Theescombe
ERF AREA:	1531 sqm
EXISTING AREA:	353 sqm
NEW AREA:	58 sqm
TOTAL AREA:	411 sqm
EX. COVERAGE:	353 sqm - 23.06%
NEW COVERAGE:	58 sqm - 3.79%
TOTAL COVERAGE:	411 sqm - 27%
NEW GARAGES:	1
NEW BATHROOMS:	0
POOL:	N/A
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	32



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PROJECT NO.:

2023_DASERRA

DRAWING NO.:

20240904_DASERRA_MS01

DRAWN BY:

DMP

PRINT DATE:

10 Sep 2024

REVISION NO.:

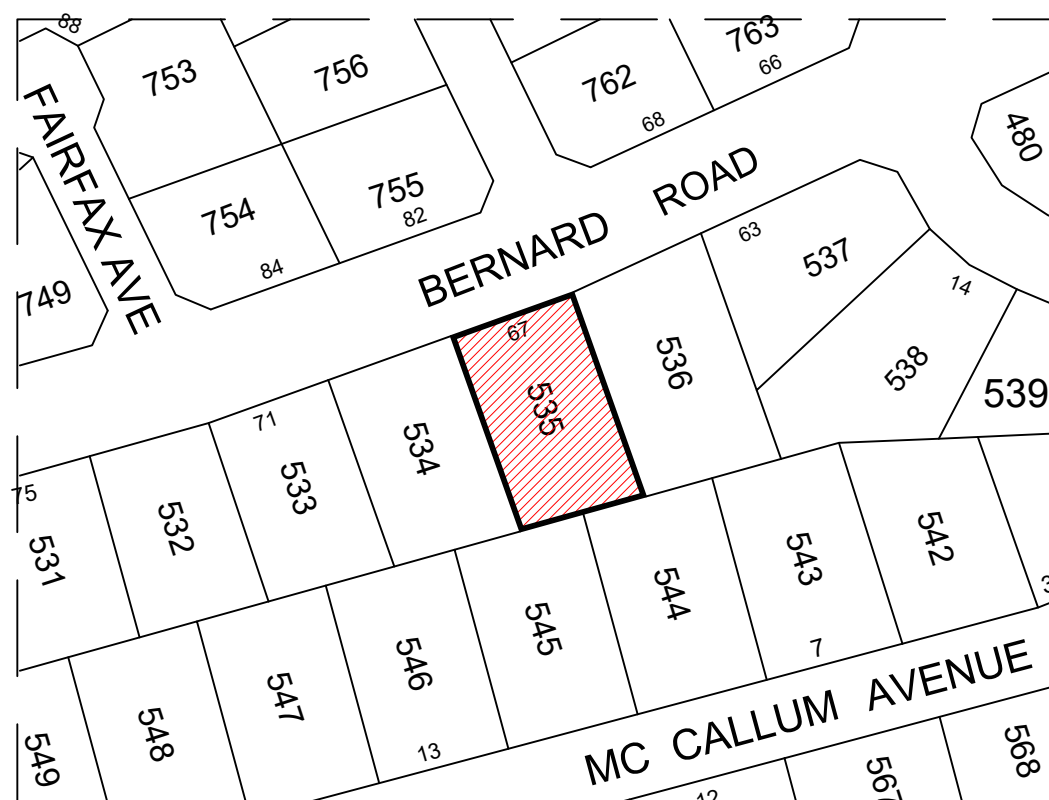
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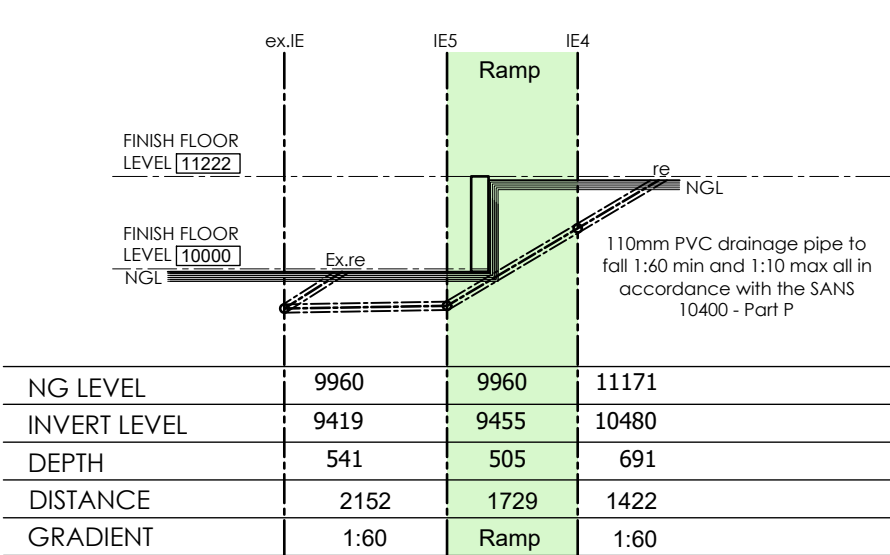
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APPLICATION OF SANS 10400-XA (Ed.2)	
ZONE 4 - CLASSIFICATION H4 / Dwelling Houses	
R-VALUE CALCULATIONS FOR ROOF-1	
REQUIREMENTS	ACTUAL
6 ROOF & CEILING ASSEMBLY	
The roof and ceiling assemblies are in accordance with the requirements of 5.6	
21° PITCH ROOF	
Outer Air-film (1/20)	mm W/m.K R-Val.
Concrete tiles	n/a 0.84 0.05
Air-space & Sisalation	25 0.84 0.03
Isover Aerolite insulation	135 0.044 0.55
Gypsum Ceiling	0.0 0.04 0.07
Inner Air-Film (1/1.0)	6.40 0.17 0.04
21° Tiled Roof with horizontal ceiling	n/a 0.09 0.09
Total R-value:	Req. =>3.7 3.83 In order

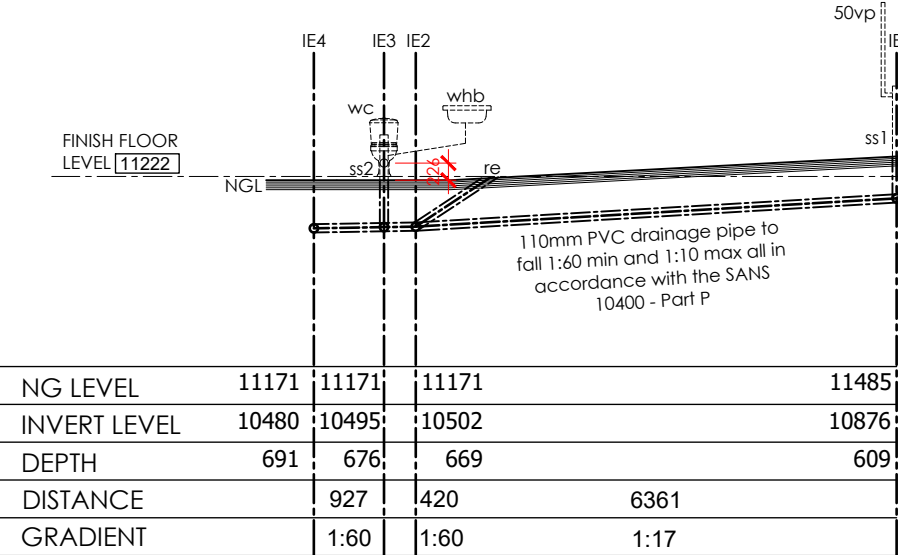
APPLICATION OF SANS 10400-XA (Ed.2)	
ZONE 4 - CLASSIFICATION H4 / Dwelling Houses	
REQUIREMENTS	ACTUAL
1 DESIGN	The orientation is in accordance with the requirements of 5.1
2 SHADING	The shading is in accordance with the requirements of 5.2
3 FENESTRATIONS & ROOF LIGHTS	The fenestration is in accordance with the requirements of 5.3
4 FLOOR INSULATION for under floor heating	The floors are in accordance with the requirements of 5.4
5 EXTERNAL WALLS Surface density > 270kg/m²	The external walls are in accordance with the requirements of 5.5
6 BUILDING SEALING	The building sealing is in accordance with the requirements of 5.7
7 HOT WATER Classification H4 - Dwellings	The building hot water is in accordance with the requirements of 6.1
PIPE INSULATION (hot water pipe)	Internal pipe diameter ≤ 80mm: Minimum R-value of 1.00
8 LIGHTING Classification H4	The building lighting is in accordance with the requirements of 6.2



SITE LOCALITY PLAN
NOT TO SCALE



DRAINAGE SECTION A-A (1)
SCALE 1:100



DRAINAGE SECTION A-A (2)
SCALE 1:100