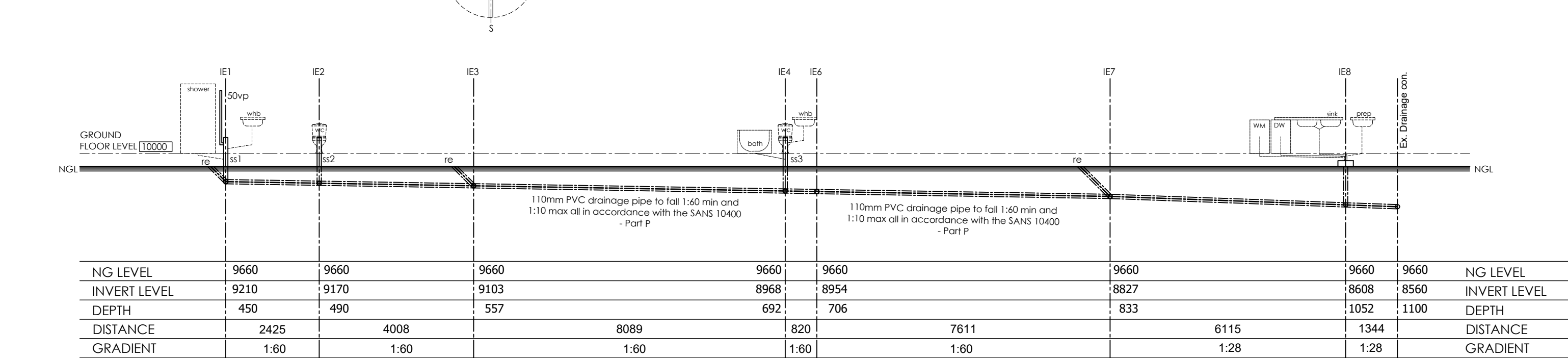
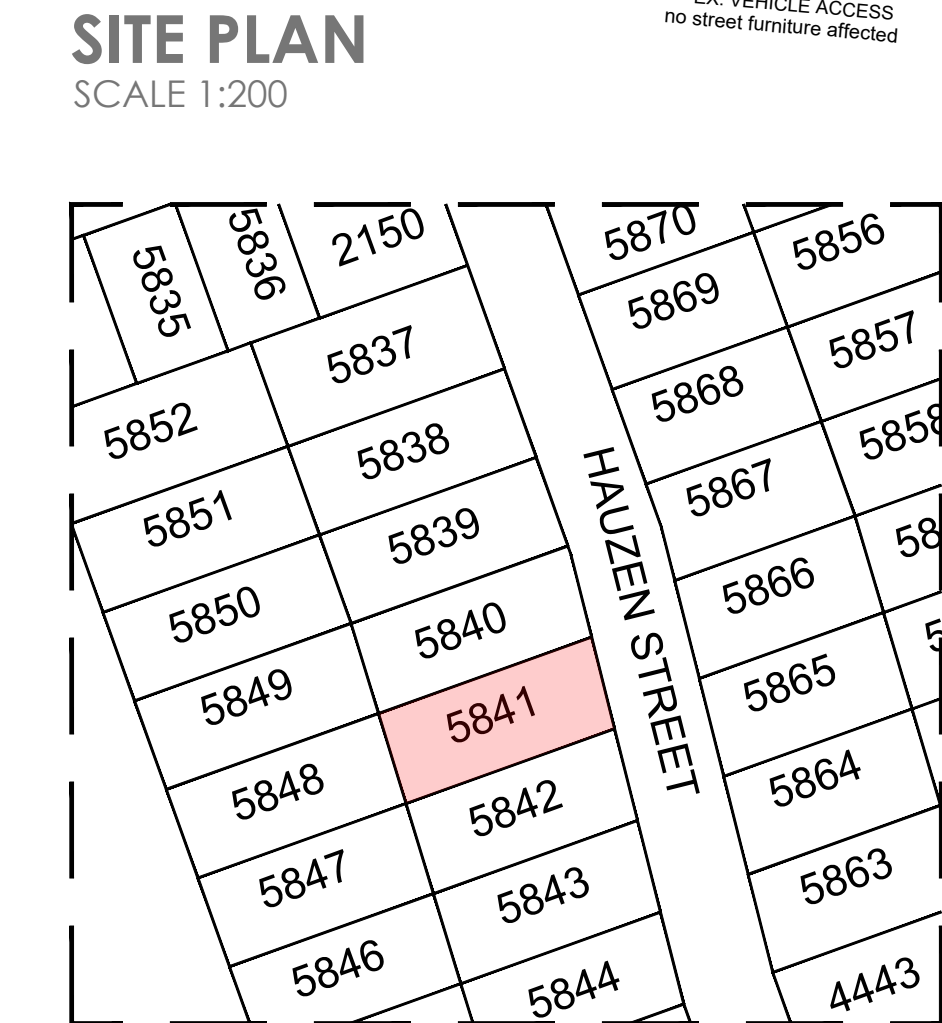
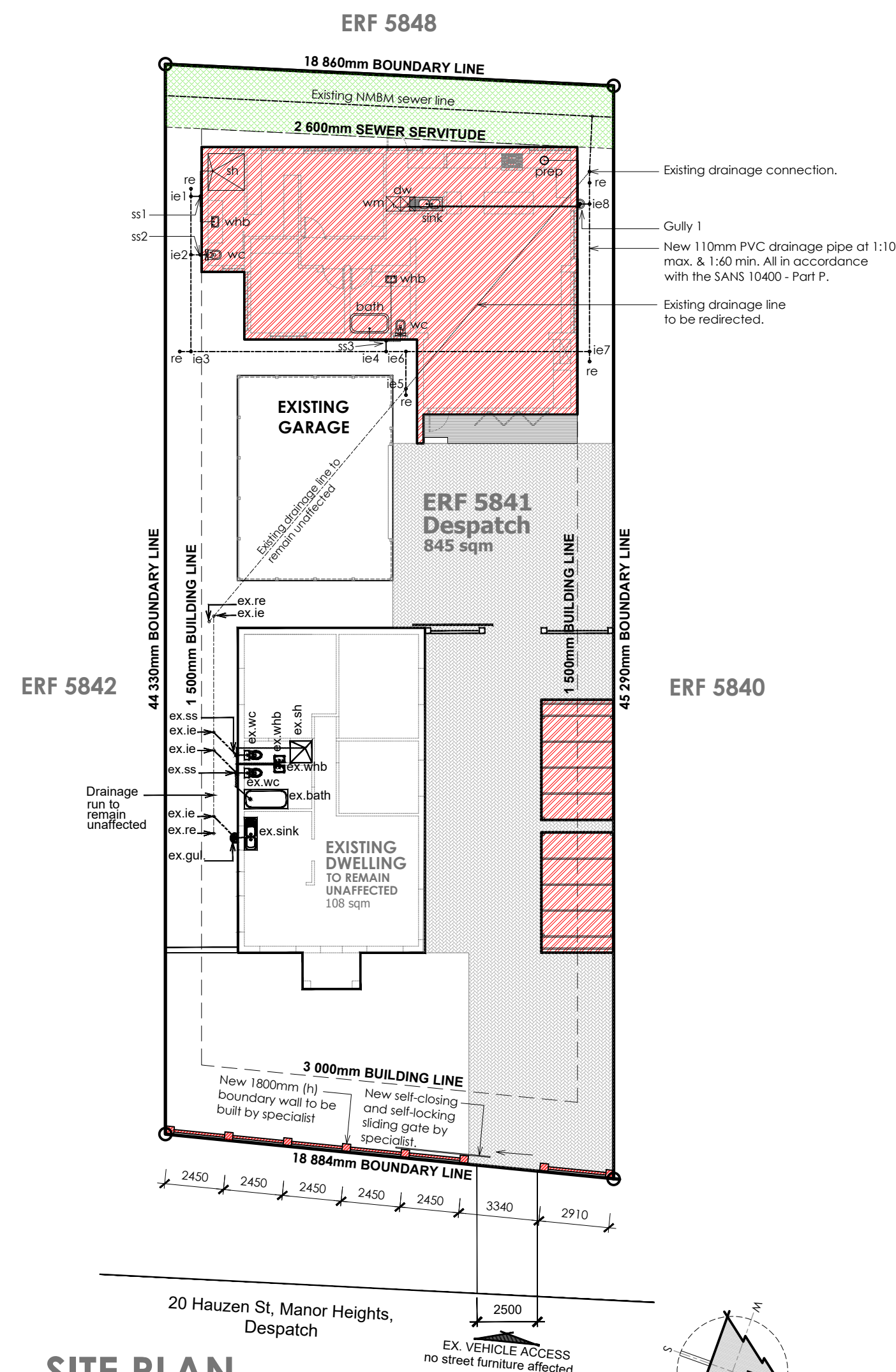


AMENDED PLAN NO.: 361116



ELECTRICAL LEGEND

	Single wall mounted light switch to be mounted at 1500mm above u/fi		TV point aerial
	Double wall mounted light switch to be mounted at 1500mm above u/fi		Shavers plug
	Triple wall mounted light switch to be mounted at 1500mm above u/fi		Telkom point
	2-way wall mounted light switch to be mounted at 1500mm above u/fi		Network point
	Waterlight wall mounted light switch to be mounted at 1500mm above u/fi		Stove isolator
	Dimmer wall mounted light switch to be mounted at 1300mm above u/fi		Power Skirting (2 x 18 W) 1500 Long 2 tube fluorescent armature with prismatic diffuser suspended from ceiling
	Double wall mounted waterlight plug, top of socket to be 300mm above u/fi		5 Watt LED Down lighter as per specification
	Double wall mounted waterlight plug, top of socket to be 1250mm above u/fi		20 Watt Compact Fluorescent hanging pendant light as per specification
	Extractor connection plug @ 2100mm		20 Watt Compact Fluorescent ceiling light as per specification
	Blank conduit boxes		30 Watt Fan-light ceiling mounted
	Periscope plug as per specification.		5 (Watt x 2) Internal LED Wall mounted light
	Garage door ceiling mounted motor		10 (Watt x 2) External LED Wall mounted light

	50 Watt External LED Wall mounted spotlight
	13 Watt Internal CFL Wall mounted - Up Lighter
	Starlights (wall mounted)
	LED Strip Lighting
	Pool light as per client
	Foot light
	Electrical fence control box
	Gate Control Unit
	Pre-paid Electricity meter
	Daylight sensor
	Intercom
	Intercom system.
	Alarm

[illegible]

WATER RETICULATION LEGEND

	proposed cold water source point, plumber to top into existing cold water pipes of this point		external mounted heat pump as per specialist
	municipal water connection and stop cock		solar geyser on roof with geyser in the ceiling space as per specialist.
	garden tap position		
	Pressure release valve and non-return valve		Shower head and mixer
	proposed cold water reticulation		
	proposed hot water reticulation		
	proposed cold water pipe up		50mm flexible polyester blanket insulation to new geyser to achieve R-value of 2.00
	proposed cold water pipe down		50mm flexible polyester insulation to cold new hot water pipes to achieve R-value of 1
	proposed hot water pipe down		
	proposed cold water stopcock		
	proposed hot water stopcock		
	proposed cold tap		
	proposed hot tap		

REVISIONS:[illegible]

GENERAL NOTES:

[illegible]

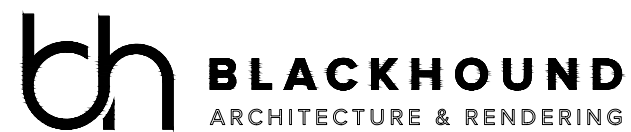
DRAWING TITLE:

MUNICIPAL SUBMISSION

PROJECT TITLE

PROPOSED SECOND DWELLING ON ERF
5841, DESPATCH , ---- FOR J. Black

CLIENT SIGNATURE _____



dewald@blackhoundenterprises.com
072 799 9597 | 072 418 6867
<https://blackhoundenterprises.com>
Unit 10, The Network, 19 Cactus Rd
Fairview, Port Elizabeth, 6070

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	5841, Despatch
ERF AREA:	845 sqm
EXISTING AREA:	166 sqm
NEW AREA:	170 sqm
TOTAL AREA:	336 sqm
EX. COVERAGE:	166 sqm - 20%
NEW COVERAGE:	170 sqm - 20%
TOTAL COVERAGE:	336 sqm - 40%
NEW GARAGES:	0
NEW BATHROOMS:	2
POOL:	NO
BOUNDARY WALLS:	15 M
AGE OF BUILDING:	19



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PROJECT NO.:

2023_Black_MS01_

DRAWING NO.:

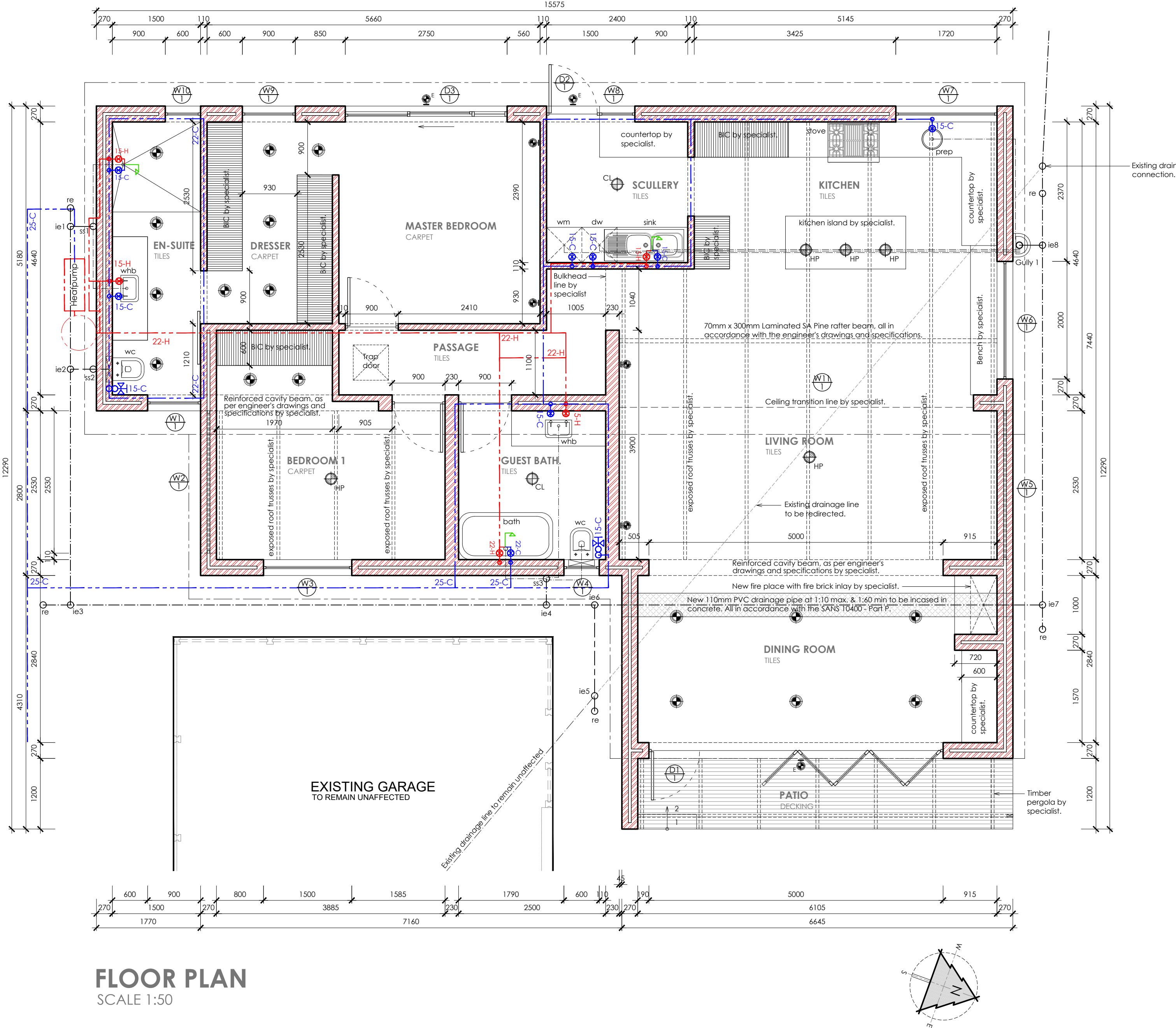
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SHEET NO.:

DRAWN BY:

PRINT DATE: 28 Mar 2025 PAGE SIZE: A1

28 Mar 2023 | At |



FLOOR PLAN

SCALE 1:50

FENESTRATION CALCULATIONS

Tag	Width	Height	A	P-Value	G	O	M-Value	Min. P	U-Value	SHGC
D1/1	5000,00	2125,00	10,63	535,00	500,00	E	0,54	1417,5	4,40	0,44
D2/1	899,85	1200,00	1,08	535,00	500,00	W	0,54	918	4,40	0,44
D3/1	2749,85	2125,00	5,84	535,00	500,00	W	0,54	1417,5	4,40	0,44
W1/1	900,00	2550,00	2,30	535,00	500,00	E	0,54	1647	4,40	0,44
W2/1	2420,00	921,49	2,23	535,00	500,00	S	0,54	767,6046	4,40	Any Solution
W3/1	1500,00	1000,00	1,50	535,00	500,00	E	0,54	810	4,40	0,44
W4/1	600,00	1000,00	0,60	535,00	500,00	E	0,54	810	4,40	0,44
W5/1	2530,00	897,23	2,27	335,00	500,00	N	0,54	754,5042	4,40	0,44
W6/1	2000,00	425,00	0,85	335,00	500,00	N	0,54	499,5	4,40	0,44
W7/1	1719,73	425,00	0,73	535,00	500,00	W	0,54	499,5	4,40	0,44
W8/1	600,00	1000,00	0,60	535,00	500,00	W	0,54	810	4,40	0,44
W9/1	899,85	2125,00	1,91	535,00	500,00	W	0,54	1417,5	4,40	0,44
W10/1	600,00	2125,00	1,28	535,00	500,00	W	0,54	1417,5	4,40	0,44
W11/1	5970,00	600,00	3,58	535,00	500,00	E	0,54	594	4,40	0,44

Summary					
City/Town	Latitude	Zone	Nett Floor Area	Fenestation Area	Glazing %
Port Elizabeth	33.962	4	140,32	35,40	25,23