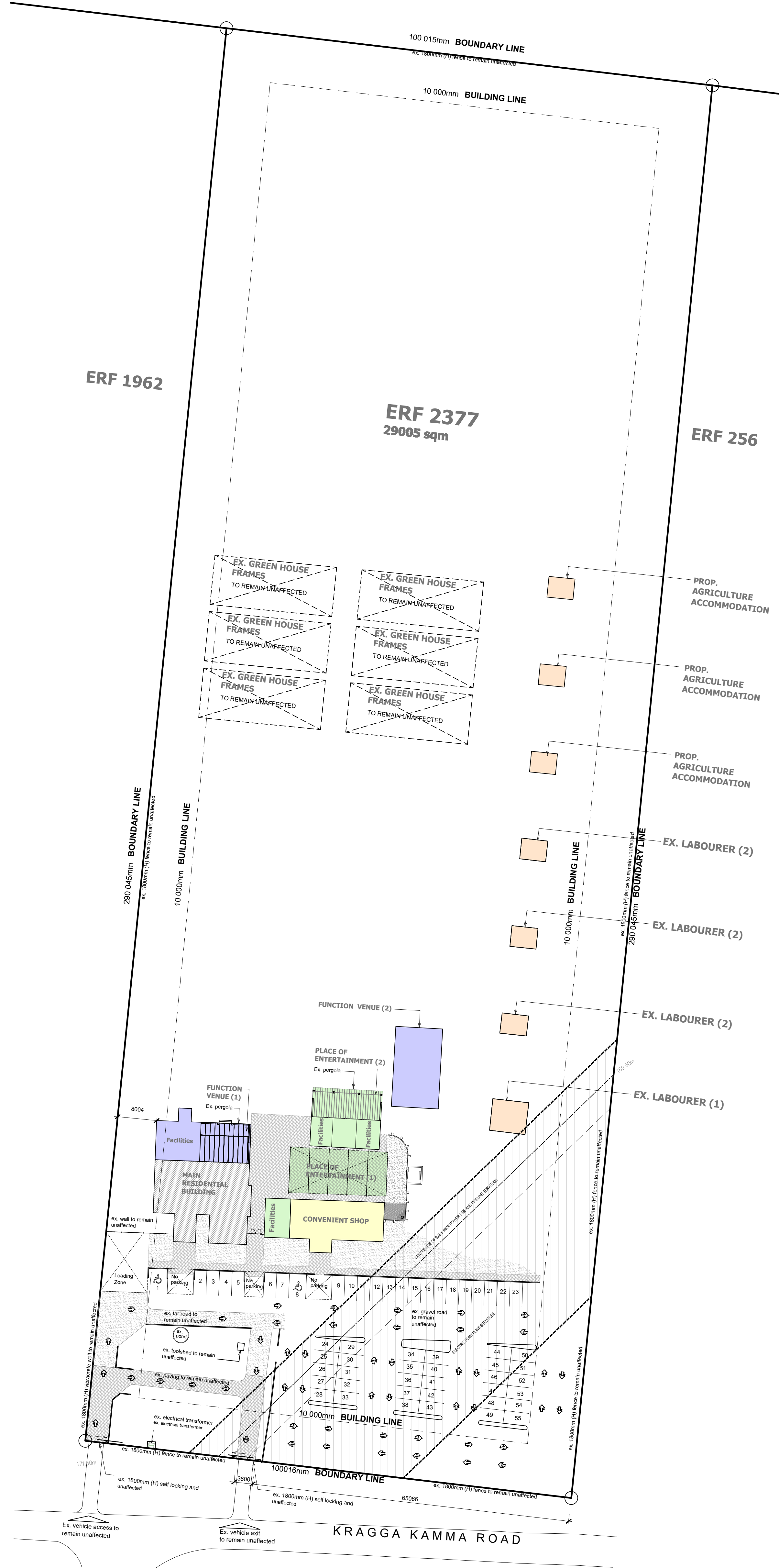


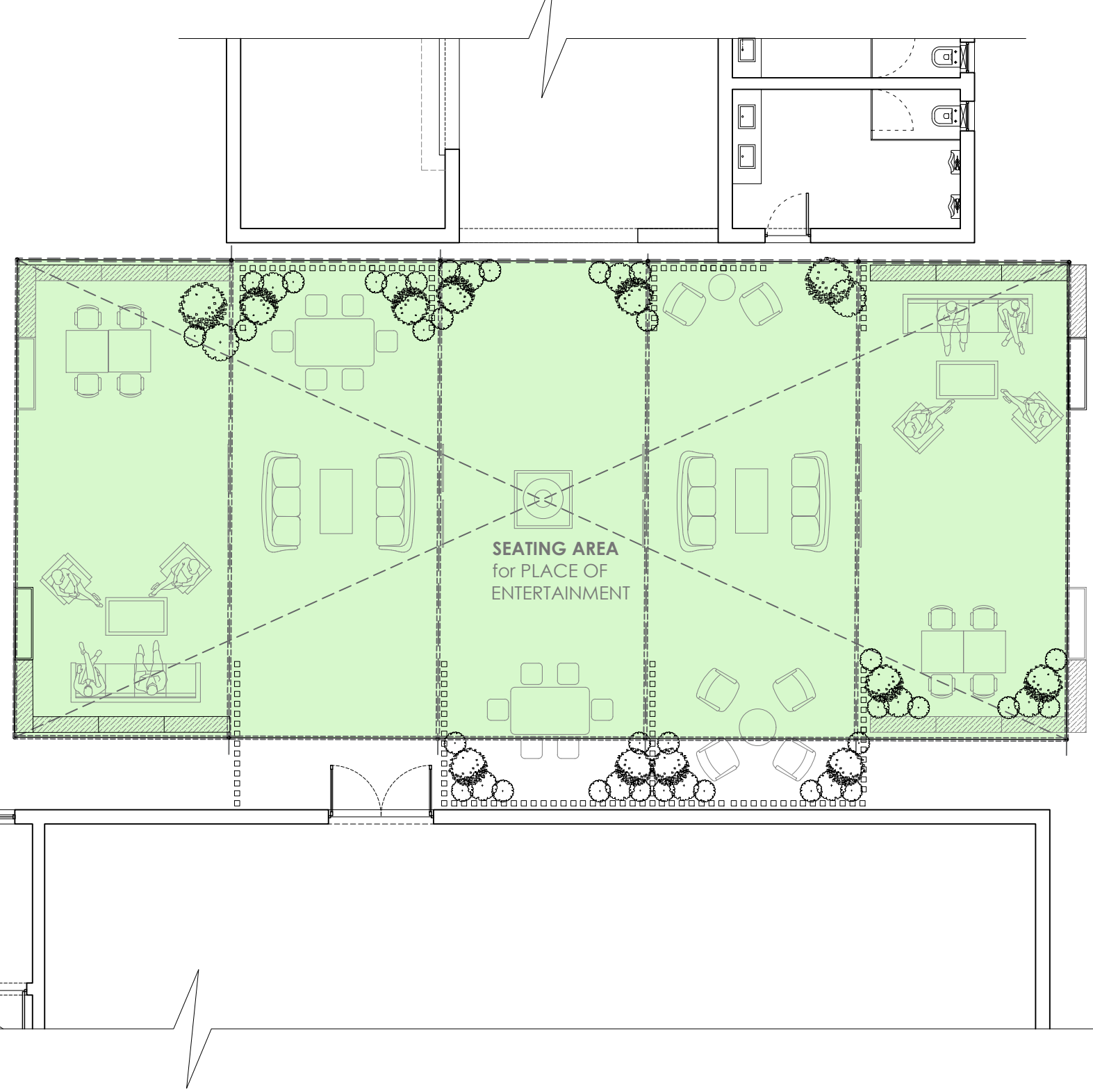
CONSENT-USE AREA LEGEND		
Place of Entertainment		
Convenience Shop		
Function Venue		
Agriculture Employee Accommodation		
Main Residential Building		

TOTAL PARKINGS REQUIRED		
Place of Entertainment (1) & (2)	19.3	Parkings
Function Venue (Patio at Res)	5.5	Parkings
Convenience Shop	6.6	Parkings
Function Venue	8.9	Parkings
Ex. Labourer (2) & Prop. Agriculture	6.0	Parkings
Employee Accommodation		
Ex. Labourer (1)	1.0	Parkings
Main Residential Building	1.0	Parkings
Total Parkings required: 49.3 Parkings		
Total Parkings provide: 55.0 Parkings		



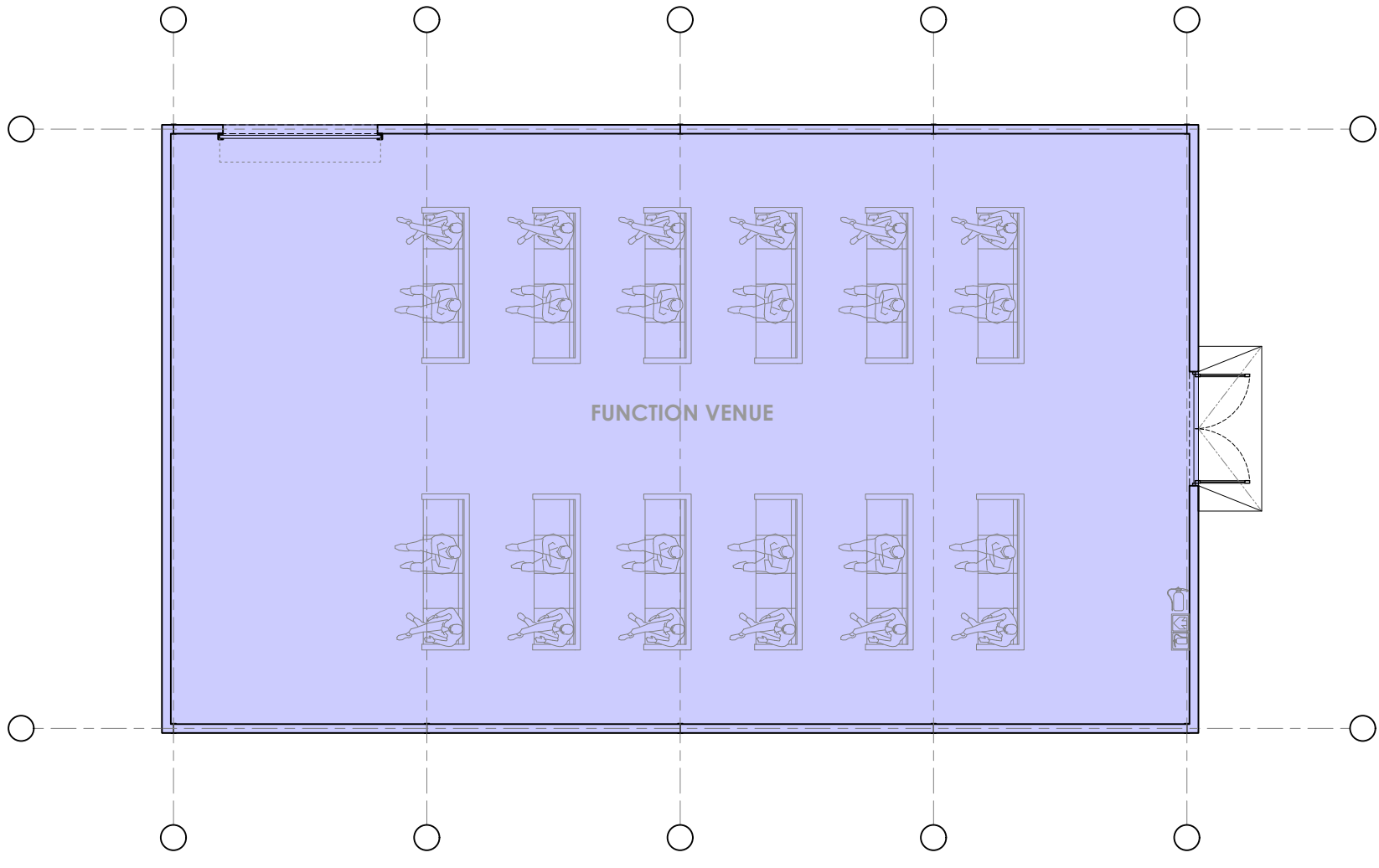
SITE LOCALITY PLAN
SCALE N/A

PLACE OF ENTERTAINMENT (1)	
AREA TOTALS:	
Seating Area	200 sqm
PARKING CAL'S:	
Seating Area (excl. movement areas)	26.16 sqm (seating)
Facilities of Place of Entertainment:	
Seating Area	26.16 sqm (seating)
40 bays / 100 sqm seating (0.40)	26.16 x 0.40
Parking required:	10.6 Parkings



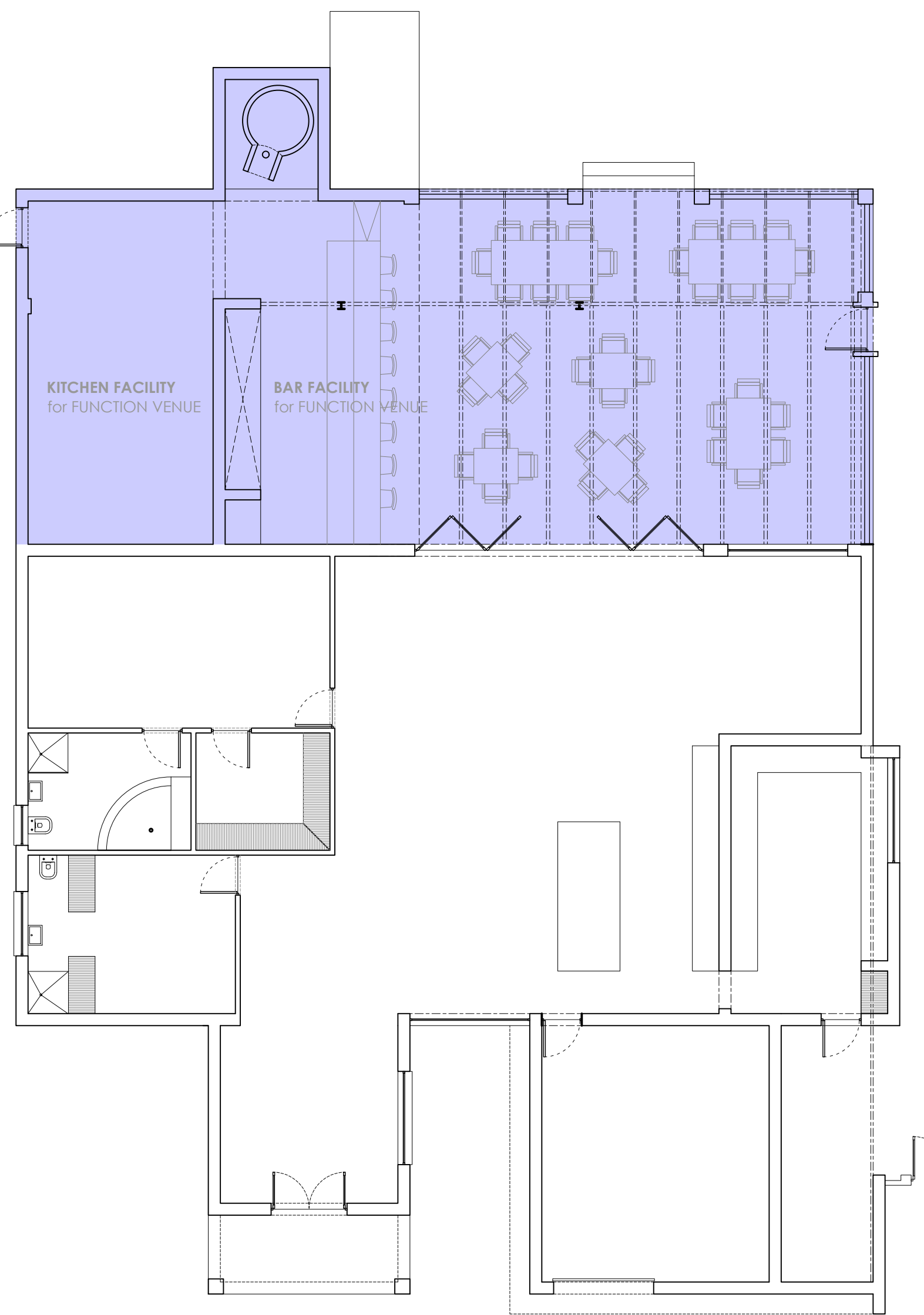
FLOOR PLAN / PLACE OF ENTERTAINMENT (1)
SCALE 1:100

FUNCTION VENUE (2)	
AREA TOTALS:	
Function Venue (Covered - Incl. Walls)	157 sqm
PARKING CAL'S:	
Seating Area (excl. movement areas)	22.2 sqm (seating)
Function Venue	22.2 sqm (seating)
Seating Area	22.2 sqm (seating)
40 bays / 100 sqm seating (0.40)	x 0.40
Parking required:	8.9 Parkings



FLOOR PLAN / FUNCTION VENUE
SCALE 1:100

MAIN RESIDENTIAL BUILDING & FUNCTION VENUE (1)	
AREA TOTALS:	
Main Residential Building	283.64 sqm
Function Venue (Uncovered)	82 sqm
Function Venue (Covered - Incl. Walls)	80 sqm
PARKING CAL'S:	
Seating Area (excl. movement areas)	13.79 sqm (seating)
Function Venue	13.79 sqm (seating)
Seating Area	13.79 sqm (seating)
40 bays / 100 sqm seating (0.40)	x 0.40
Parking required:	5.5 Parkings

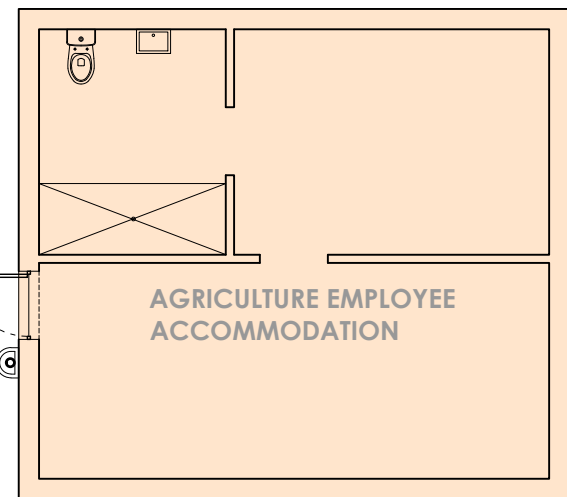


FLOOR PLAN / MAIN DWELLING
SCALE 1:100

EX. LABOURER (2) & PROP. AGRICULTURE EMPLOYEE ACCOMMODATION	
AREA TOTALS:	
Agriculture Employee Accommodation	138 sqm
PARKING CAL'S:	
Agriculture Employee Accommodation	
Total Units	6 Units
1 bays / per unit	x 1.00
Parking required:	6 Parkings



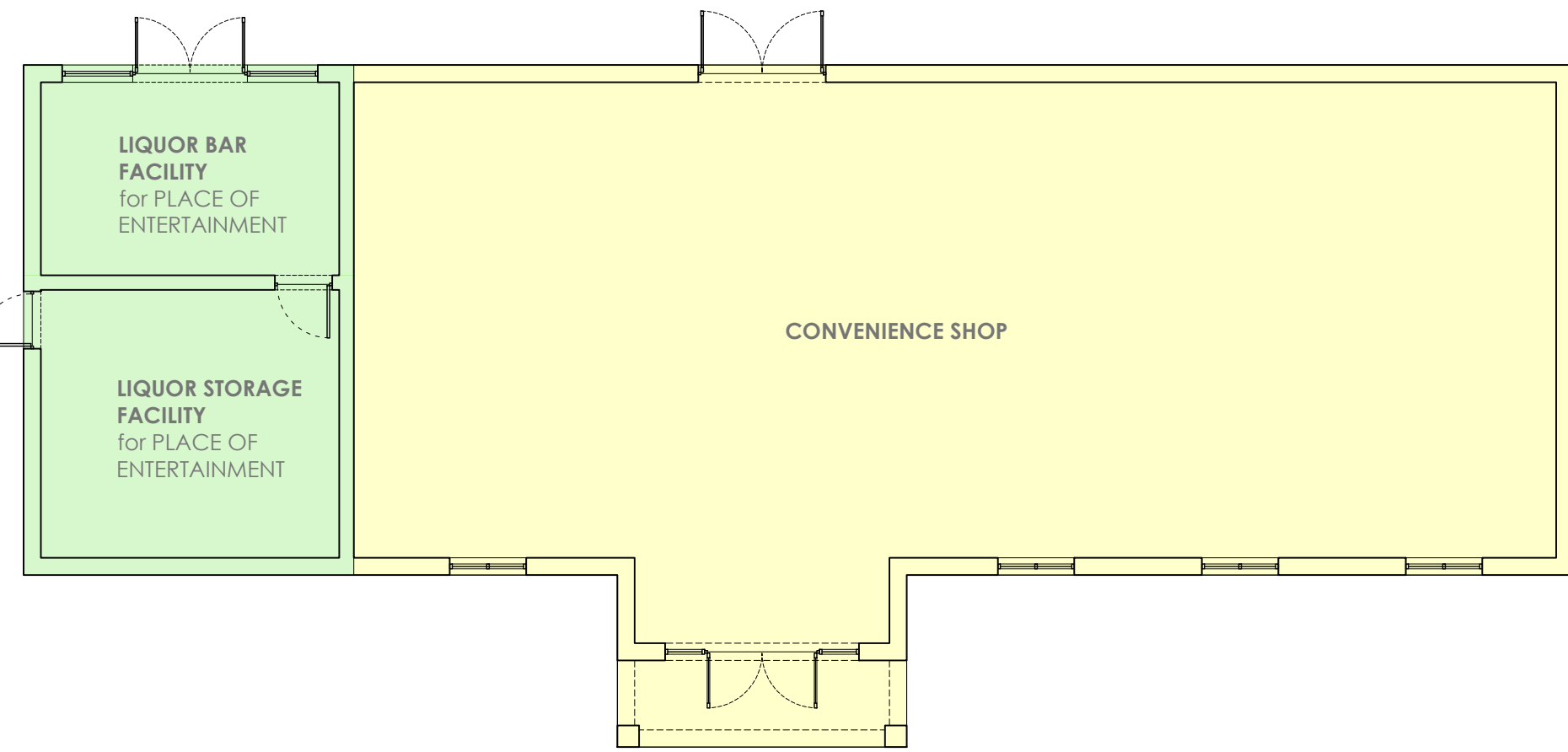
FLOOR PLAN / AGRICULTURE EMPLOYEE ACCOMMODATION (1)
SCALE 1:100



FLOOR PLAN / AGRICULTURE EMPLOYEE ACCOMMODATION (2)
SCALE 1:100

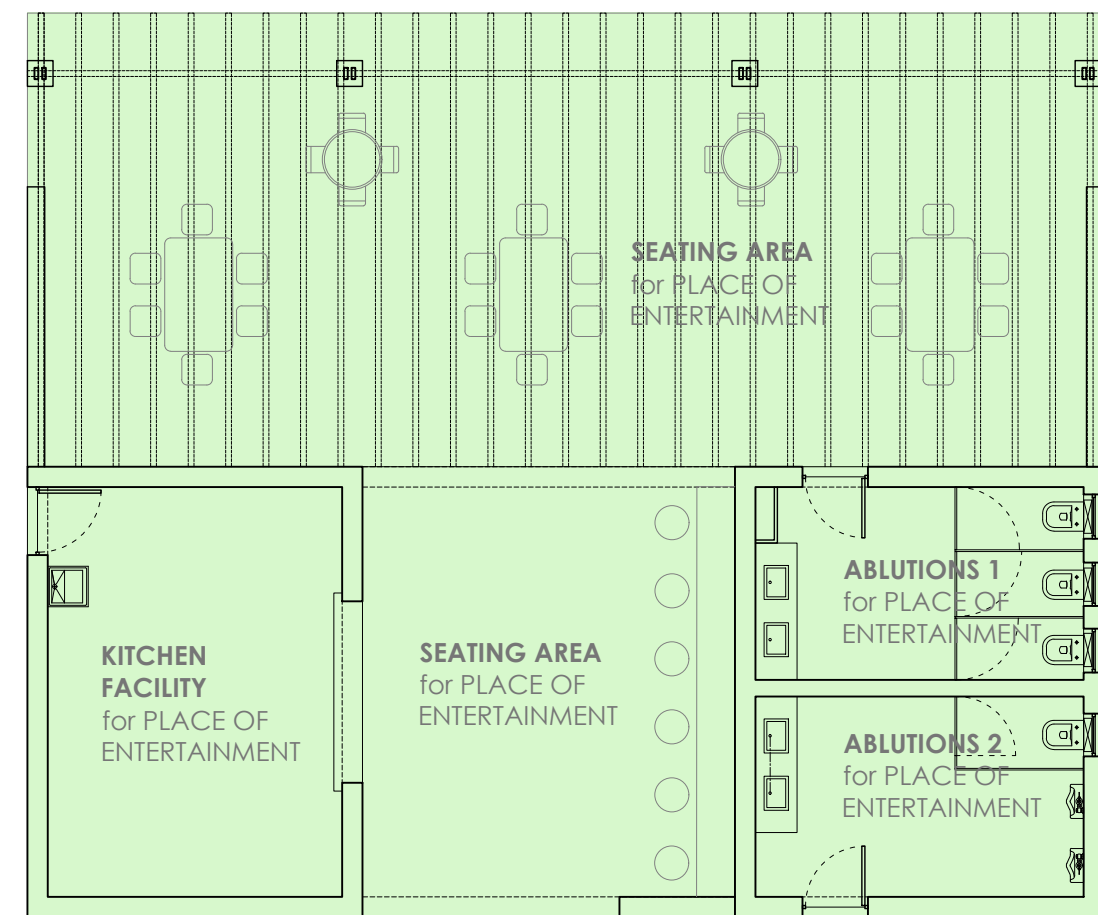
EX. LABOURER (1)	
AREA TOTALS:	
Agriculture Employee Accommodation	47 sqm
PARKING CAL'S:	
Agriculture Employee Accommodation	
Total Units	1 Units
1 bays / per unit	x 1.00
Parking required:	1 Parkings

CONVENIENCE SHOP & FACILITIES (Place of Entertainment)	
AREA TOTALS:	
Farm Stall (Convenience Shop)	165.38 sqm
Liquor bar (Place of Entertainment)	16 sqm
Liquor storage (Place of Entertainment)	23.18 sqm
PARKING CAL'S:	
Farm Stall	165.38 sqm
Convenience Shop:	
Farm Stall	26.42 sqm
4 bays / 100 sqm (0.04)	x 0.04
Parking required:	6.6 Parkings
Liquor bar	
Facilities of Place of Entertainment:	
Seating Area	1.86 sqm (seating)
40 bays / 100 sqm seating (0.40)	x 0.40
Parking required:	0.7 Parkings
Liquor Storage	
Facilities of Place of Entertainment:	
Abutions 1 & 2	23.18 sqm
1 bays / 100 sqm (0.01)	x 0.01
Parking required:	0.2 Parkings



FLOOR PLAN / CONVENIENCE SHOP & FACILITIES (Place of Entertainment)
SCALE 1:100

PLACE OF ENTERTAINMENT (2)	
AREA TOTALS:	
Place of Entertainment (Uncovered)	85 sqm
Place of Entertainment (Covered - Incl. Walls)	85 sqm
PARKING CAL'S:	
Kitchen	26.42 sqm
Facilities of Place of Entertainment:	
Kitchen facility	26.42 sqm
0 bays / 100 sqm (0.00)	x 0.00
Parking required:	0.0 Parkings
Seating Area (excl. movement areas)	
Facilities of Place of Entertainment:	
Seating Area	19.57 sqm (seating)
40 bays / 100 sqm seating (0.40)	x 0.40
Parking required:	7.8 Parkings
Abutions 1 & 2 (excl. movement areas)	
Facilities of Place of Entertainment:	
Abutions 1 & 2	29.08 sqm (seating)
0 bays / 100 sqm (0.00)	x 0.00
Parking required:	0.0 Parkings



FLOOR PLAN / PLACE OF ENTERTAINMENT (2)
SCALE 1:100

REVISIONS:

GENERAL NOTES:

All drawings to be checked on site before construction commences. All dimensions are given in millimeters, unless otherwise specified. Contractors to adhere to all relevant authority regulations and requirements. Contractors to be a suitably qualified and registered participant in the construction industry as required by Construction Regulation 2014. Drawings to be read in conjunction with the client's O&S (Occupational Health and Safety) file. All work to be done in accordance with the National Building Regulations and Standards (NBS). Before this drawing is issued it is the contractor's responsibility to ensure he is familiar with the file. All trade names quoted may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's specifications. All conduit work to be SABS approved quality. All lighting to be fitted to comply with the relevant code of practice as published in SABS 0001 Part 12. All new work to be made good with existing. This drawing is not to be scaled unless printed by the architect. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported to the designer immediately and clarified by the architect prior to commencement of work. Top of foundations to be a minimum of 100mm below finished ground level. Minimum 100mm thick concrete surface laid as per Engineers drawings to be on 200mm 'granite' sub-grade on 50mm sand bedding layer and on well compacted fill in layers not more than 100mm. SABS Approved 'granite' 300 mm dia. under all walls, window cills and of changes in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building work to be carried out in accordance with the national building regulations, the contractor is responsible for all site visits by local inspection and by all bodies in connection therewith. All drainage work to be carried out in accordance with the national building regulations. All roof measurements to be taken on site by roof specialist prior to roof construction. All the above to be confirmed with architect prior to commencing. Levels shown are relative to a benchmark at 100.00 msl of sea level. Msl is not the actual level but a benchmark to base other heights of the building shown on the drawings. Contractor to keep a full set of latest issued drawings on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take responsibility for all health and safety measures on site.

DRAWING TITLE:

MUNICIPAL SUBMISSION

PROJECT TITLE:

ADDITIONS AND ALTERATIONS ON ERF
2377, THESCOMBE, PORT ELIZABETH
FOR Mr Saunders

CLIENT SIGNATURE

072 779 1957 | 072 418 4847
http://blackhounddesign.com
Unit 10, The Network, 19 Cactus Rd,
Fairview, Port Elizabeth, 6070

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	2377, TheSCOMBE
ERF AREA:	29003 sqm
EXISTING AREA:	925 sqm
NEW AREA:	48 sqm
TOTAL AREA:	974 sqm
EX. COVERAGE:	925 sqm - 3%
NEW COVERAGE:	69 sqm - 0.24%
TOTAL COVERAGE:	994 sqm - 3%
NEW GARAGES:	0
NEW BATHROOMS:	0
POOL:	NO
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	27

PROFESSIONAL SIGNATURE
DENOLD MATTHEWS
10 Sep 2024

COPYRIGHT:

This drawing is subject to copyright and may not be reproduced in whole or part in any manner whatsoever without written permission from Blackhound Architecture & Rendering.

PROJECT NO.:

REVISION NO.:

DRAWING NO.:

DRAWN BY:

PRINT DATE:

PAGE SIZE:

AD

101