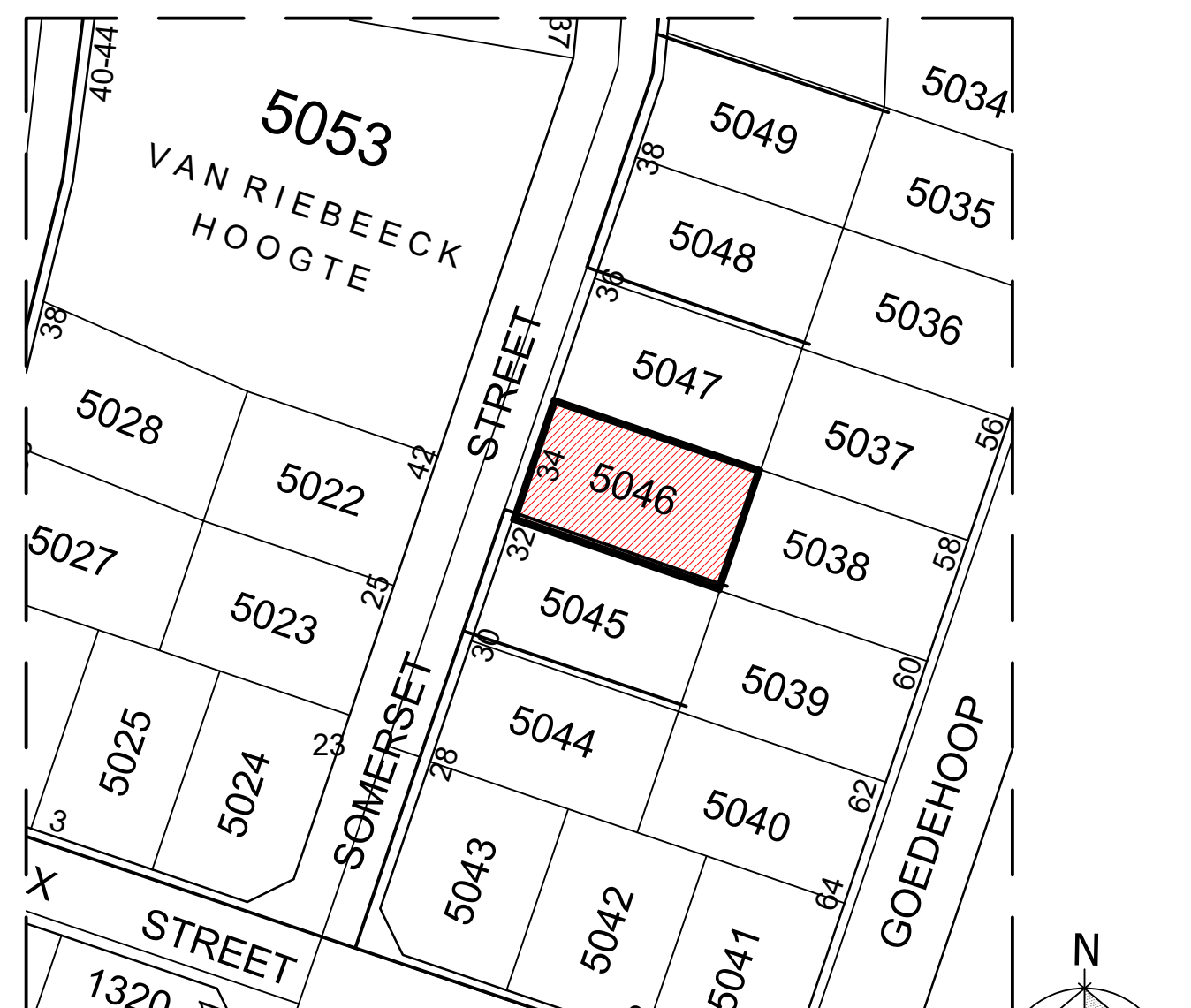
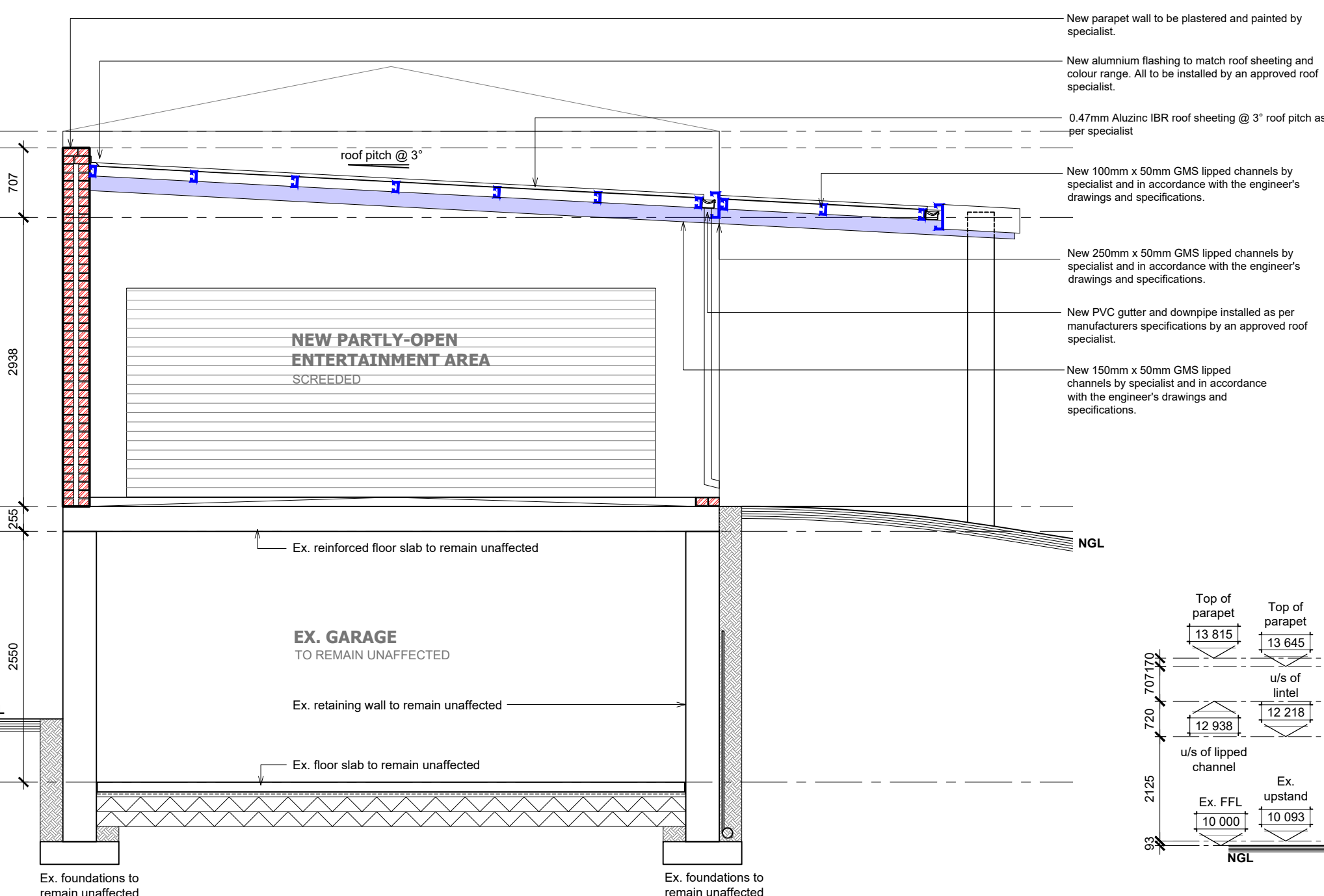
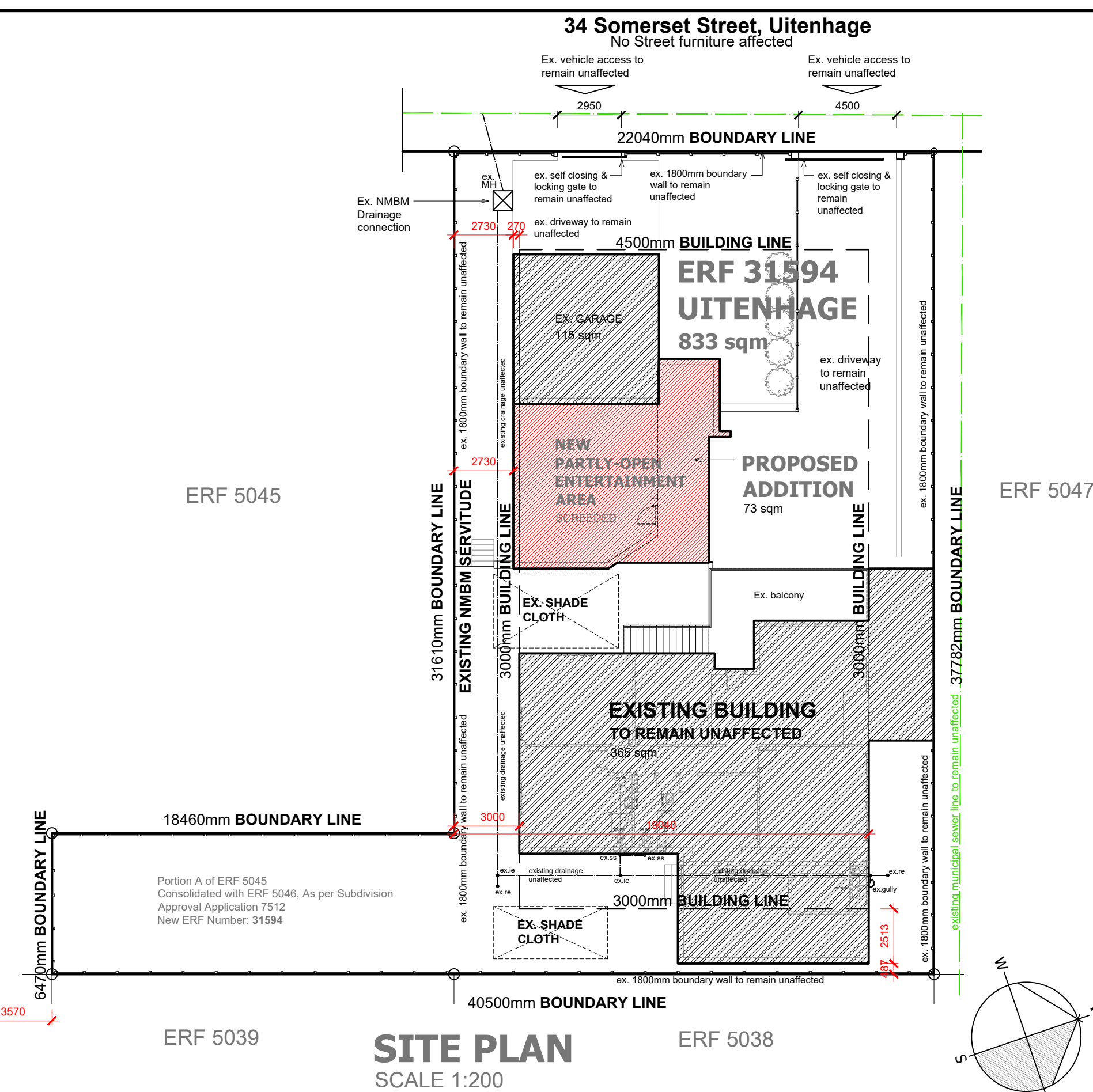




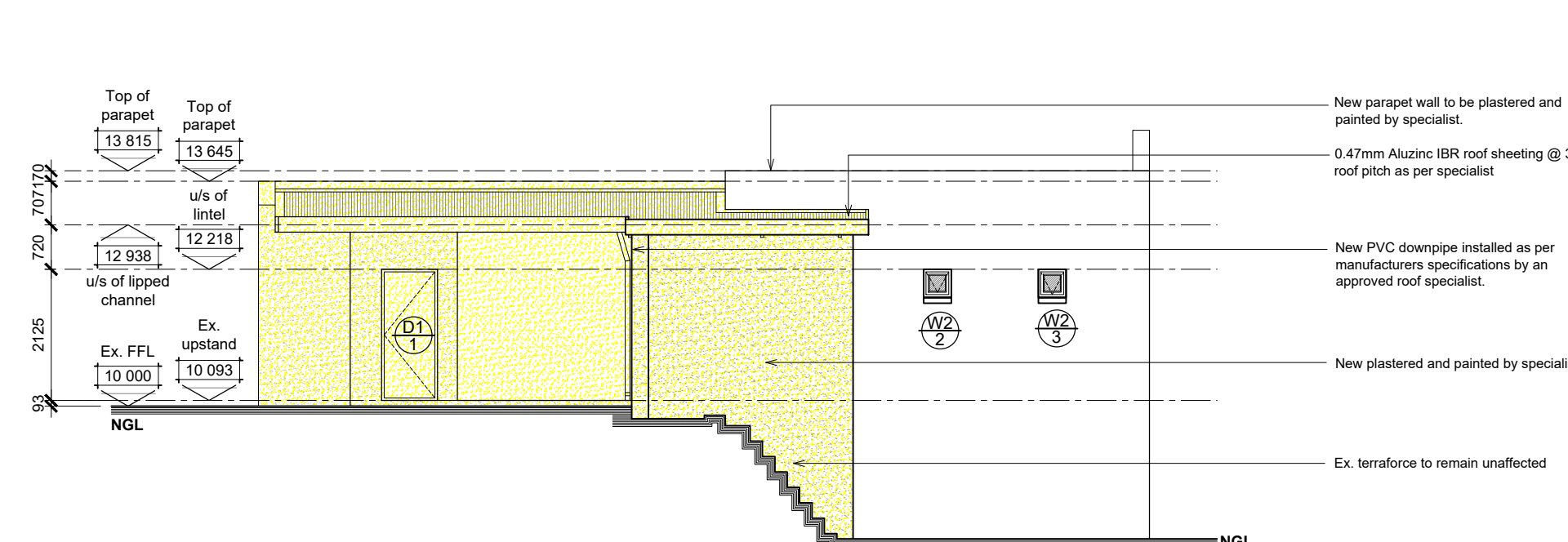
SITE LOCALITY PLAN

NOT TO SCALE

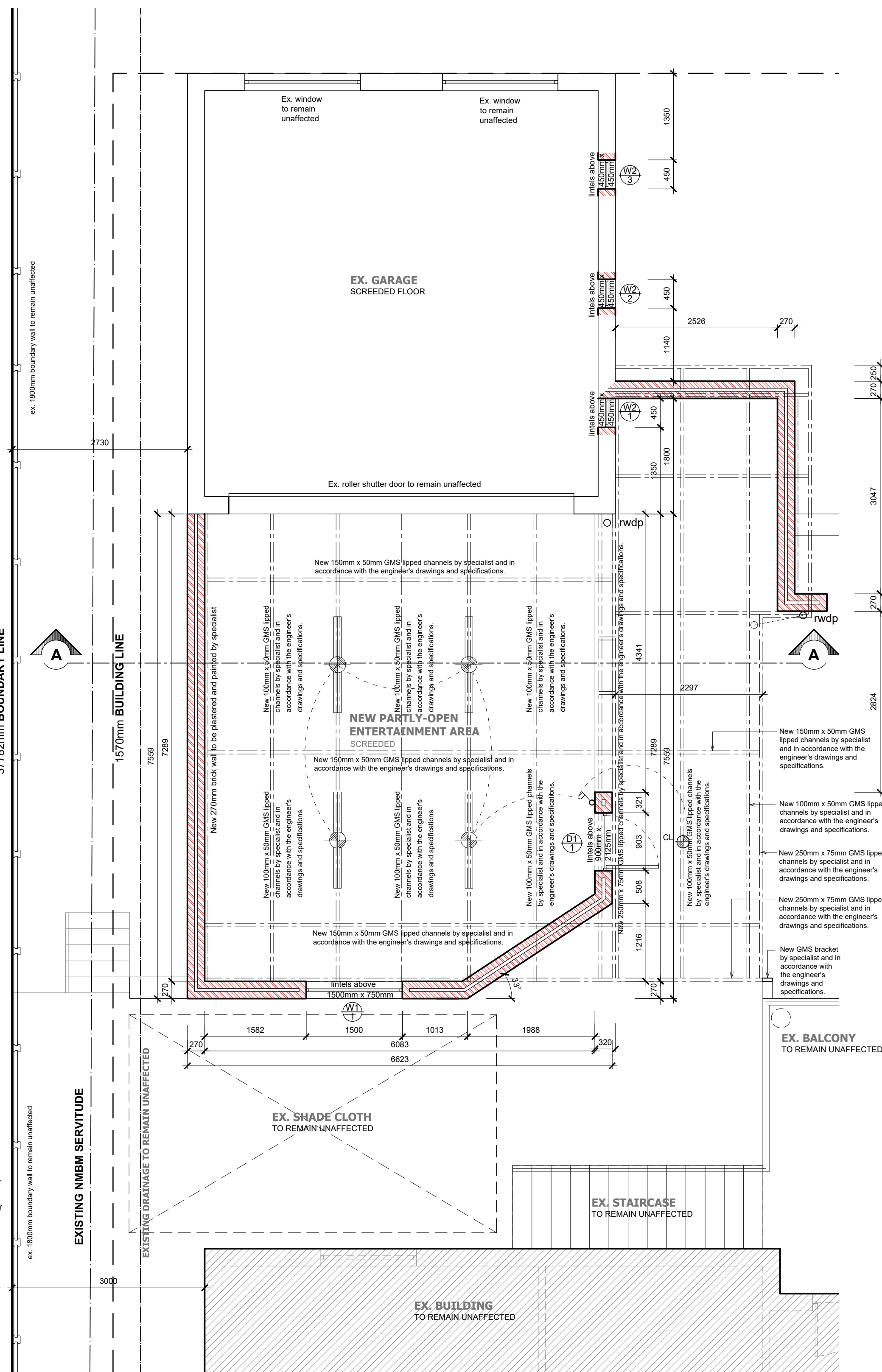


EAST ELEVATION

SCALE: 1:100



NORTH ELEVATION
SCALE: 1:100



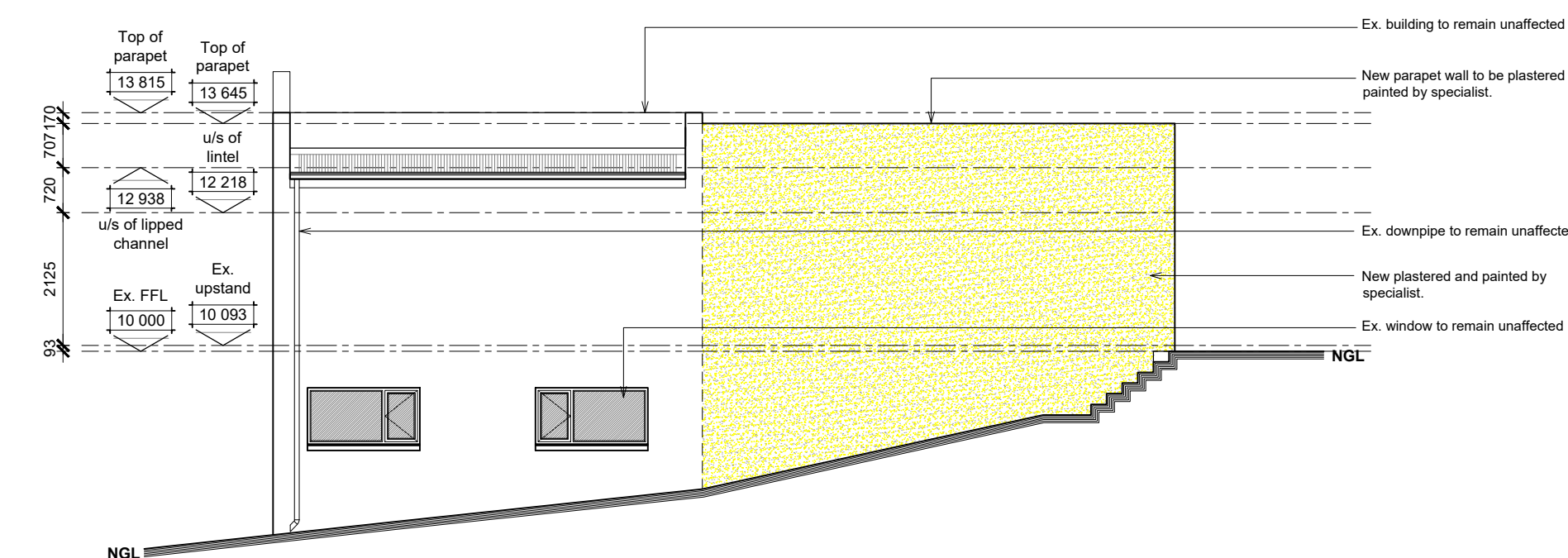
FLOOR PLAN

SCALE 1:50

TOWN PLANNING INFORMATION		
ERF 31594, UITEHAGE		
ERF AREA 833 sqm		833 sqm
EXISTING COVERAGE @ 294 sqm	35.3%	294 sqm - 35.3%
PROPOSED NEW COVERAGE		73 sqm - 8.8%
TOTAL COVERAGE		367 sqm - 41.1%
FSI EXISTING - 480sqm / 833sqm		57.6%
PROPOSED NEW TOTAL FSI - 553sqm / 833sqm		0.66
FSI PERMITTED - n/a		N/A

MUNICIPAL INFORMATION:			
TOWN PLANNING	RES1		RES1
	Required	Provided	
ERF NO:	ERF 31594, Uitenhage	ERF 31594, Uitenhage	
ZONING:	RES1	RES1	
HEIGHT RESTRICTION	-	-	
BUILDING LINE FRONT	4720mm	4720mm	
BUILDING LINE SIDES	1570mm	1570mm	
BUILDING LINE REAR	3150mm	3150mm	
EXISTING ERF AREA:	833 sqm	833 sqm	
EXISTING AREA:	480 sqm	480 sqm	
NEW AREA:	73 sqm	73 sqm	
TOTAL AREA:	553 sqm	553 sqm	
EXISTING COVERAGE:	294 sqm - 35.3%	294 sqm - 35.3%	
NEW COVERAGE:	73 sqm - 0.8%	73 sqm - 0.8%	
TOTAL COVERAGE:	367 sqm - 47.2%	367 sqm - 47.2%	
PARKING BAYS	0 Bays	0 Bays	
FSI	TBC	0.66	

AREA LEGEND	
<u>TOTAL AREA OF EX. BUILDING:</u>	365 sqm
EX. LAPA:	22 sqm
EX. GARAGE (BELOW BUILDING):	56 sqm
EX. BASEMENT (BELOW BUILDING):	67 sqm
REMAINDER OF EX. DWELLING:	198 sqm
<u>TOTAL AREA OF EX. GARAGES:</u>	115 sqm
EX. GARAGE (Upper Ground level):	46 sqm
EX. GARAGE (Lower Ground level):	69 sqm
<u>TOTAL NEW AREA:</u>	73 sqm
NEW PARTLY Y-OPEN ENTERTAINMENT AREA	73 sqm



SOUTH ELEVATION
SCALE: 1:100

[illegible]

All dimensions to be checked on site before construction commences. All dimensions are given in millimetres, unless otherwise specified. Contractors to adhere to the Building Authority's regulations regarding building heights. The contractor must be registered as required by the Construction Regulation 2014. Drawings to be read in conjunction with the Building Regulations and National Building Regulations Standards 10400. Before drawing's priced it is the contractor's responsibility to ensure all drawings are correct and complete. Drawings may only be substituted by similar, subject to architect's approval. All materials to be installed in strict accordance with manufacturer's instructions. All concrete to be cast in accordance with AS/NZS 1171 lighting is to be fitted to comply with the relevant code of practice as specified in SANS 10400-Part C. All new work to be done in accordance with the relevant code of practice as specified by B. Gouwens traders. All existing dimensions not to be scaled from drawings but to be checked on site. Any discrepancies shall be reported immediately to the architect prior to commencement of work. Top of foundations to be a minimum of 150mm below finished ground level. Minimum 100mm concrete base under all footings. All structural steelwork to be "gripulps" ius green primd on 50mm sand blinding layer and on wet compacted fill in layers not more than 150mm. SANS Approved drawings to be used for all dimensions. All drawings to be read in floor level. These architectural drawings to be read in conjunction with engineers and consultants drawings, where applicable. All building regulations to be followed. Contractor responsible for all site visits by local inspectors and pay of fees in connection therewith. All building regulations to be followed. All measurements to be taken on site by roof specialist prior to roof construction. All the layouts to be taken on site by roof specialist prior to roof construction. All dimensions relative to a benchmark at 100.00 mrd of new floor level. Mid is not the actual level but a benchmark to base other heights of the building on. All dimensions to be checked on site. Contractor is responsible for the correct setting out of the building on site with reference to the building line and boundaries. Contractor to take full responsibility for all safety measures on site.

DRAWING TITLE:

MUNICIPAL DRAWING

PROJECT TITLE

AMENDMENTS TO SEWER LAYOUT
ON **ERF 31594, UITENHAGE** ,
EASTERN CAPE FOR **VAN -R TRUST**

25 Jan 24

.....

CLIENT SIGNATURE

bh **BLACKHOUND**
ARCHITECTURE & RENDERING

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 Unit 10, The Network, 19 Cactus Rd
 Fairview, Port Elizabeth
 6075

25 Jan 24

.....

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	31594, Uitenhage
ERF AREA:	833 sqm
EXISTING AREA:	480 sqm
NEW AREA:	73 sqm
TOTAL AREA:	553 sqm
EX. COVERAGE:	294 sqm 35%
NEW COVERAGE:	73 sqm - 9%
TOTAL COVERAGE:	367 sqm - 44%
NEW GARAGES:	0
NEW BATHROOMS:	0
POOL:	NO
BOUNDARY WALLS:	0 M
AGE OF BUILDING:	<60



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PROJECT NO.: 22_03_Bothma	REVISION NO.: 00
DRAWING NO.: 20230602_Bothma_MS16	SHEET NO.:
DRAWN BY: HG	101
PRINT DATE: 25 Jan 2024	PAGE SIZE: A1