

APPLICATION OF SANS 10400-XA & SANS 10400-XB				
ZONE 4 - CLASSIFICATION H4 / Dwelling Houses				
		REQUIREMENTS	ACTUAL	In order
1	DESIGN REQUIREMENTS	Building to be orientated North/South with longest axis orientated East/West	Building facing North/South with longest axis orientated East/West	N/A
2	UNDER SLAB INSULATION	Insulation with minimum R-value of 1.00 to be used under the floorslab where underfloor heating is used	No underfloor heating	In order
3	WALLS	Masonry walls need to achieve R-value of 0.35	270mm cavity wall (plaster external / plaster internal) = R-value of 0.70	In order
4.1	ROOFING - Existing Thatch	Heat flow up and the roof system needs to achieve a minimum R-value of 3.7	All Habitable spaces roof to remain unaffected. New roof affected areas are non-habitable spaces. Garage and Entrance foyer.	In order
	PIPE INSULATION	Internal pipe diameter ≤ 80mm: Minimum R-value of 1.00	50mm flexible polyester insulation to achieve R-value of 1.00	In order
	GEYSER INSULATION	Minimum R-value of 2.00	100mm flexible polyester blanket insulation to achieve R-value of 2.00	In order
7.1	LIGHTING - Classification H4	Maximum energy demand on new areas affected Constant = 5 W/m² 38 m² x 5 W/m² 190 W (MAX.)	38m² x 5 = 190 W MAX. 002 x 36 W Fluo = 72 W 000 x (2x5W) LED = 0 W 000 x (2x10W) LED = 0 W 000 x 5 W LED DL = 0 W 000 x 28 W Pendant = 0 W 000 x 0 W = 0 W TOTAL = 72 W 72W / 38m² = 1.89W/m² < 5W/m²	In order
7.2	MAXIMUM ANNUAL ENERGY CONSUMPTION	Maximum energy consumption of new areas affected Constant = 5 kWh/m² 38m² x 5 kWh/m² a [a=1year] = 190Wh a MAX.	72 W / 1000 hours/day = 0.072 kWh/m² (Total Demand) 5 hours/day 7 days/week x 42 weeks/year = 1470 hours/year 0.072 kW x 1470 h a = 105.84 kWh 105.84 kWh a < 190Wh a	In order
8	FENESTRATION	Total area of the fenestration to be less than 15% of the total of the new floor area affected	FENESTRATION CALCULATIONS NOT APPLICABLE.	In order

GENERAL NOTES:

DRAWING TITLE:

MUNICIPAL SUBMISSIONS

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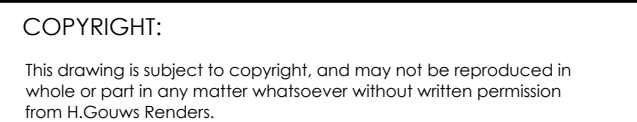
01 Elsa Joubert Street
Fairview
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25 Apr 22

PROFESSIONAL SIGNATURE

MUNICIPAL INFORMATION:

ERF NO:	924, Sea Vista
ERF AREA:	1221 sqm
EXISTING AREA:	410 sqm
NEW AREA:	43 sqm
TOTAL AREA:	453 sqm
EX. COVERAGE:	219 sqm - 18%
NEW COVERAGE:	43 sqm - 4%
TOTAL COVERAGE:	262 sqm - 21%
NEW GARAGES:	2
NEW BATHROOMS:	0
POOL:	EXISTING
BOUNDARY WALLS:	Existing M
AGE OF BUILDING:	6



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