KOUGA MUNICIPALITY

PLANNING AND DEVELOPMENT

P.O. BOX 21
JEFFREYS BAY, 6330

TEL. 042-2931111
FAX: 042-2932238

SUBMISSION OF BUILDING PLAN

I, the undersigned hereby apply to carry out building works set forth in the plans attached, and I undertake to execute the same in strict accordance with the National Building Regulations made under the National building Regulations and Building Standards Act 103 of 1977, and any relevant Municipal Bylaws.

SECTION A ***(TO BE COMPLETED IN BLOCK LETTERS)***

A1 ERF NUMBER : ~~836~~ 5355

A2 ADDRESS OF PROPOSED BUILDING : DRESDEN STREET C-PLACE

A3 EXTENTION :

A4 DESCRIPTION OF WORK (new, addition, etc) : ADDITION

A5 TYPE OF DWELLING (dwelling, shops, etc) : DWELLING

A6 NAME OF OWNER : MR J. OOSTHUIZEN

A7 ADDRESS OF OWNER : DRESDEN STREET
: C-PLACE J/BAY
: Postal Code : 6330

A8 TEL. WORK : TEL. HOME :

A9 DESIGNER / ARCHITECT : R. PRINSLOO

A10 DESIGNER / ARCHITECT'S ADDRESS : DUINE ROAD - PELISRUS - J-BAY

A11 BUILDER : M/A BUILDERS

A12 PLUMBER : N/A

A13 STRUCTURAL ENGINEER : N/A

A14 SIGNATURE OF OWNER : X

A15 DATE SUBMITTED : 03/03/04

SECTION B ***(Office Use Only)***

ERF NUMBER : 5355 PLAN NUMBER : 745-03-04

TOTAL FLOOR AREA : 241 M² m² ESTIMATED COST : R39 000

	AMOUNT	RECEIPT NO.	DATE
SR 40700 – 91051 – BUILDING PLAN FEES	R265,00.	H020024983	5-03-04
SR 40700 – 15501 – DEPOSITS: BUILDING PLANS	R280.00		
SR SUSPV – 9601 – AUGMENTATION FEES BULK SERVICES (VAT BEARING)			
TOTAL	R545,00		

JEFFREYS BAY MUNICIPALITY

BUILDING INSPECTIONS FORM Oct 89

ERF NO. : CS355

SERIAL No:

Name of owner : J. Oosthuizen

Street adress : 7 Dresdenstraat

Builder :

Plumber :

FOUNDATION INSPECTION at 12:30 on 3.11.94

Erf pegs shown ✓
Boundary lines shown ✓
Building lines shown ✓
Foundation sizes ✓
Foundation depths ✓
Storage permission —

Check rooms ✓
Check dimensions ✓
Sign board
Site toilet ✓
Rubbish bin ✓

Remarks:

Approved on 3.11.94 by GK signed

DRAINAGE INSPECTION at _____ on _____

Check pipework
Check gradients
Check cover

Check stubb stacks
Check i.eyes
Check rodding eyes

Volume of tank : L .....* B..... *D.....=V.....

Remarks:

Approved on _____ by _____ signed _____

FINAL INSPECTION at _____ on _____

Built according to plan
Check toilet fittings
Check ceilings
Check windows
Check roof fixtures
External plumbing
Handrails & ballustrades

Check fire door
Cleanliness of stand
Water connection

Remarks:

.....

FINAL INSPECTION APPROVED ON _____ BY _____

OCCUPATION CERTIFICATE No. _____ ISSUED BY _____

ON _____ SIGNED _____

DOC SEP

ERF NO. : C 5355

PLAN NO. : 745-03-04

KOUGA MUNICPALITY

BUILDING INSPECTION FORM

Name of Owner : J. Oosthuizen

Street Address : 7 Dresden Str.

Builder : ..... Plumber : .....

FOUNDATION INSPECTION At _____ on _____

Erf pegs shown .... _____
Boundary lines shown ... _____
Building lines shown ... _____
Foundation sizes ..... _____
Foundation depths ... _____
Storage permission ... _____

Check rooms ..... _____
Check dimensions ... _____
Site toilet ... _____
Rubbish bin _____
Sign board : _____
Conditions of Approval ... _____

Remarks : _____

APPROVED ON : _____ BY : _____ SIGNED : _____

DRAINAGE INSPECTION At _____ on _____

Check pipework ... _____
Check gradients ... _____
Check cover .... _____

Check stub stacks/VV ... _____
Check i. eyes ... _____
Check rodding eyes ... _____

Volume of tank : L..... B ..... D ..... = V.....

Remarks : _____

APPROVED ON _____ BY : _____ SIGNED : _____

FINAL INSPECTION At _____ on _____

Build according to plan ... _____
Check toilet fittings ... _____
Check windows ... _____
Check roof fixture ... _____
External plumbing ... _____
Suction Head ... _____
Handrails & balustrades ... _____

Check fire door/wall ... _____
Cleanliness of stand ... _____
Electrical Certificate : _____
Water Connection ... _____
Engineer drawings ... _____
Engineer certificate ... _____
Roof plan certificate ... _____

Connection fees paid... Elect (rec) _____ Water (rec) _____ Sewer (rec) _____

Remarks : _____

Temporary Occupation until _____

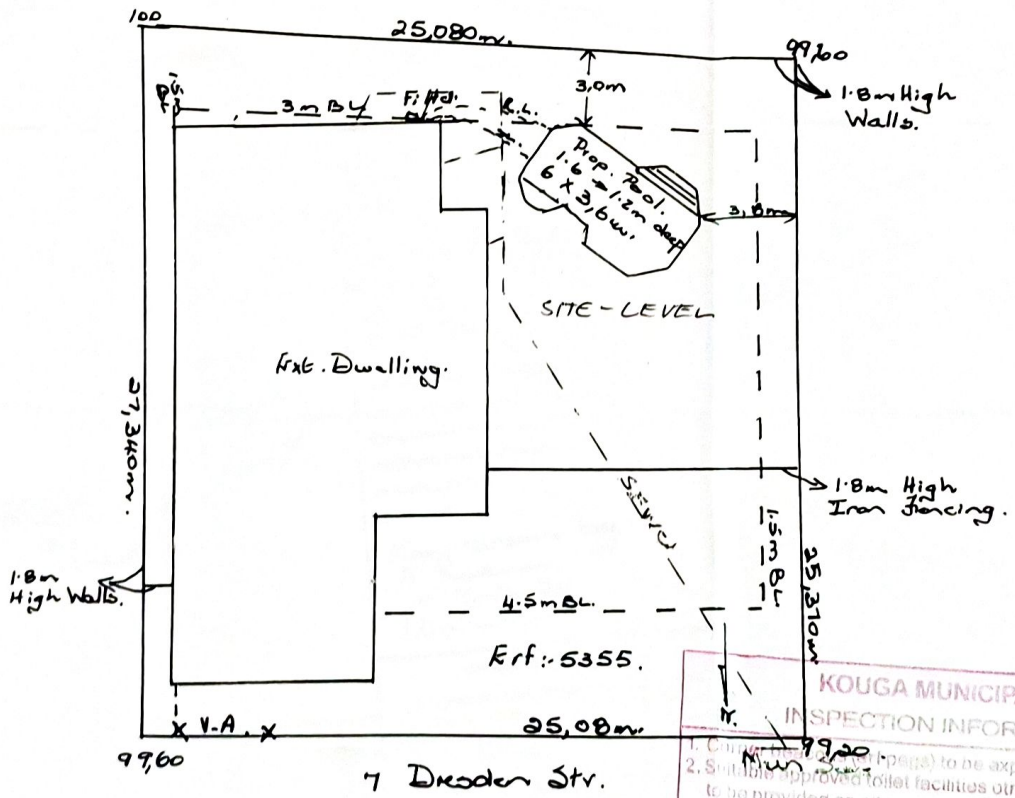
FINAL INSPECTION APPROVED ON : _____ OCC. CERTIFICATE NO. _____

ISSUED BY _____ ON _____ SIGNED _____

Proposed Swimming Pool at
7 Dresden Str, Jeffreysbay
Erf :- 5355 for Mr. J. Oosthuizen.

WASTE WATER TO DISCHARGE ONTO SITE

Site Plan:
Scale :- 1:200.



NOTES:

Technical Data:-

Filter Media: Sand.

Diamawork: Premoulded Fibreglass Shell.

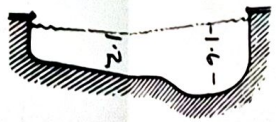
Pipework: P.V.C.

Motor: Covered.

KOUGA MUNICIPALITY
JEFFREYS BAY ADMINISTRATIVE UNIT

VOORWAARDELIK GOEDKEURING	VOORWAARDELIK GOEDKEURING
BOUPLAN NR. BUILDING PLAN No.	425-03-04
DATUM DATE	11/11/03
ESTETIESE KOMITEE AESTHETICS COMMITTEE	
BOUBEHEERBEAMPTE BUILDING CONTROL OFF.	
HOOF STADSBEOPLANNER CHIEF TOWN PLANNER	

KOUGA MUNICIPALITY
INSPECTION INFORMATION
1. Concrete [illegible] (steps) to be exposed.
2. Suitable approved toilet facilities other than pit latrine to be provided on site.
3. All plumbing work to be executed by a registered plumber.
4. Compliance with National Building Regulations and Building Standards Act 103 of 1977.
5. Compliance with all other conditions as stipulated on the approval form.
6. Any inspection [illegible] will be charged where [illegible]



SECTION

FOR EFFICIENT PROCESSING AND CONSTRUCTION PROCEDURE, IT IS IMPORTANT THAT THE FOLLOWING ITEMS BE DISCUSSED WITH THE CUSTOMER AND THEIR LOCATIONS AND/OR DIMENSIONS BE INDICATED ON THIS SKETCH SHEET.

CONTRACT No.
SIZE 6 x 3,6 m
SHAPE ✓
DEPTH 1.2 → 1.6m
STEPS ✓
LOCATION OF: FILTER/SKIMMER/LIGHT LADDER/CHANGE ROOM/DIVING BOARD
TREE REMOVAL N.A.
TOP SOIL ✓
DATUM ± 10m
FALL N.A.
PRESENCE OF: UNDERGROUND CLAY/FILL/SHALE/ROCK/WATER/ELECTRIC CABLE/SEWER/WATER PIPES/SERVITUDE FRENCH DRAIN/SEPTIC TANK/
BUILDING LINE ✓
SOIL DISPOSAL ✓
SWITCHBOARD LOCATION ✓
ACCESS ✓
CEMENT ✓
SAND ✓
WORK PLACE on Site
COPING ✓
DECK N.A.
PLASTER N.A.
STAND No. 5355.
NO DOGS OR CHILDREN IN POOL ✓
OWNER TO WET DOWN POOL ✓
EXPLANATION OF: ✓
WORK/PAYMENT/PAINT.
ACCESS LETTER.
HOARDING.

Plan drawn by:
A. Rudman
45 North Str,
Uitenhage

OWNER'S APPROVAL

THE ABOVE LOCATION POINTS, DIMENSIONS AND CONSTRUCTION ITEMS HAVE BEEN DISCUSSED WITH ME AND I APPROVE THEM. EVERYTHING WE HAVE DISCUSSED IS SHOWN AND THERE ARE NO VERBAL AGREEMENTS. IT IS UNDERSTOOD THAT ANY ADDITIONS OR CHANGES WILL NECESSITATE AN EXTRA CHARGE.

SALESMAN A. Rudman
DATE 3.11.2003

DWIGHT RUDMAN POOLS

45 NORTH STREET UITENHAGE
PHONE 27664 6230

NAME Mr. J. Oosthuizen
ADDRESS 7 Dresden Str.
POSTAL ADDRESS Jeffreysbay.

PHONE Off. 2931103. Res. Bus. 2933488.

UIT. GRAPHIC

MUNICIPAL~~ITY OF~~ JEFFREYSBAY
MUNISIPALITEIT VAN JEFFREYSBAAI

OCCUPATION CERTIFICATE
INBESITNEMINGSERTIFIKAAT

795 Date/Datum 5-11-93

Lot/Perseel Nr. C 5355

Plan No./Nr. 072 - 93 - 94

Street/Straat Dresdenstraat 7

Mr./Mrs./Messrs.
Mnr./Mev./Mnre. J. Oosthuisen

Address/Adres Dresdenstraat 7

Jeffreysbaai

I have inspected the premises at the above Lot and find the
Inspeksie is gedoen te bogemelde perseel en daar is gevind dat die

Woonhuis 212,09 m².

to be in compliance with the By-laws of Jeffreysbay and is available
voldoen aan die standaardverordeninge van Jeffreysbaai voltooi en gereed is

for occupation.
vir inbesitneming. R200 3582 18·8·93

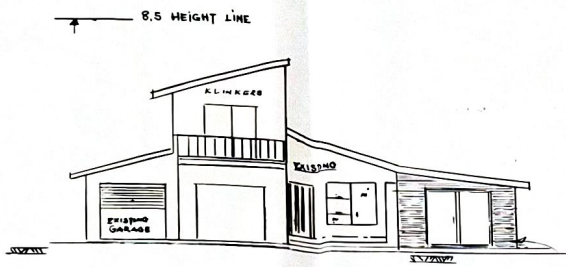
Electrical Clearance/Elektriese Voltooiing:

Department Lights & Water/
Departement Water en Ligte:

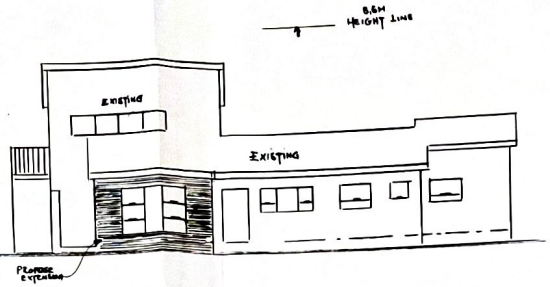
Building Inspector / Bou-Inspekteur

PRESIDENT P.E. 58076

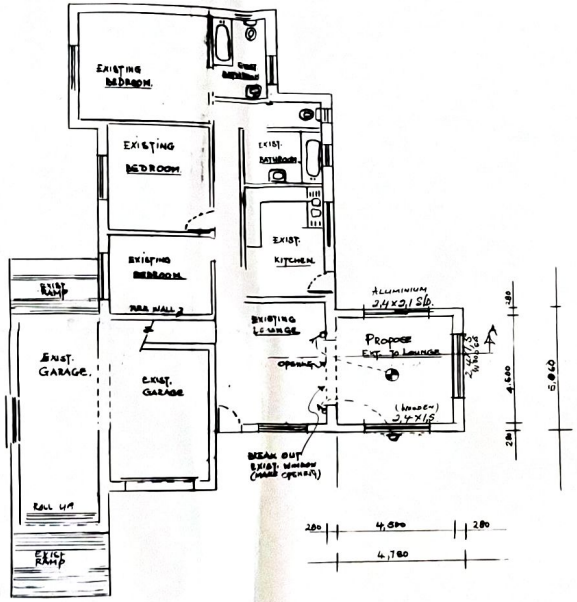
* UNLESS THE HOUSE IS BUILD BY THE LORD, THE BUILDER'S WORK IS IN VAIN ; PSALM 127 v 1



SOUTH ELEVATION. 1:100

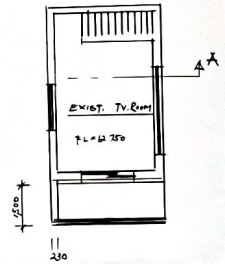


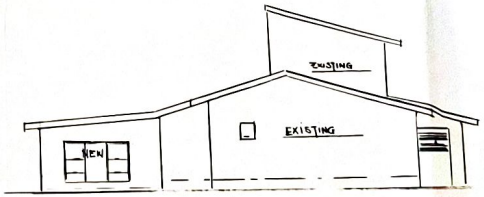
EAST ELEVATION 1:100



GROUND FLOOR PLAN 1:100

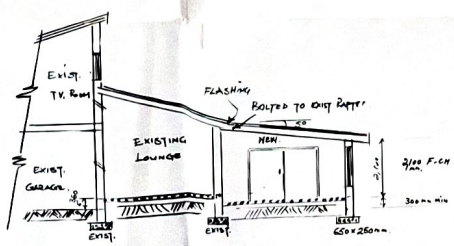
FIRST FLOOR 1:100



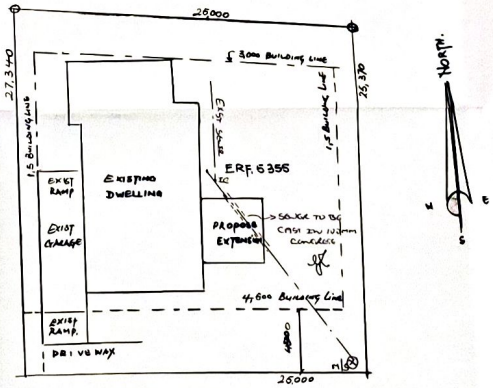


NORTH ELEVATION 1:100

8,5 M HEIGHT LINE



SECTION A.A 1:100



DRESDEN STREET.

SITE PLAN 1:200 * NB. SITE ± LEVEL.

KOUGA FIRE & EMERGENCY SERVICES
SIGNATURE
FIRE PREVENTION DIVISION
TEL.: (042) 291-0250

ELECTRICAL LEGEND.

- WALL LIGHT
- CEILING LIGHT
- SWITCH POINT.

GENERAL NOTES:

ROOF : ALUSINK ROOF SHEETS ON 76x50 PURLINS @ 720 c/c ON 152x50 RAFTERS @ 1,2m c/c. ROOF PITCH 5° (PAINT TO MATCH EXIST)

CEILING : 6,2 RHINO BOARD CEILING ON 38x38mm BATTENS @ 300 c/c. CORNICE FINISH (PAINTED) (ASBESTOS BAREBOARD)

FLOORS : FLOOR TILE TO OWNER'S CHOICE ON 26MM SCREED ON 75MM CONCRETE ON 250 MICRON DPM. ON WELL COMPACTED FILLING.

WALLS: FRONT : KLINKER BRICK TO MATCH
SIDE & REAR : PLASTER & PAINTED.
INTERIOR : PLASTER & PAINTED.

* LEVELS & DIMENSIONS TO BE CHECKED & VERIFIED BY BUILDER BEFORE COMMENCING WORK.
* NBR & LOCAL AUTHORITY'S REGULATIONS MUST BE ADHERED TO.

PROPOSED EXTENSION & ALTERATION
TO EXISTING DWELLING ON ERF 6365
JEFFREYSBAY FOR MR J. OOSTHUIZEN.

DRAWN BY : R PRINSLOO (OWNER'S SIGN : M Oosthuizen)

ADRESS : DUINE STREET - J/BAY.

TEL : 082 484 5185. DATE 29/03/04

AREA :-

EXISTING GROUND FLOOR : 192 M²

EXISTING FIRST FLOOR : 46 M²

PROPOSED EXTENSION & ALT. : 24,1 M²

TOTAL : 262,1 M²

STAND AREA = 660 M²

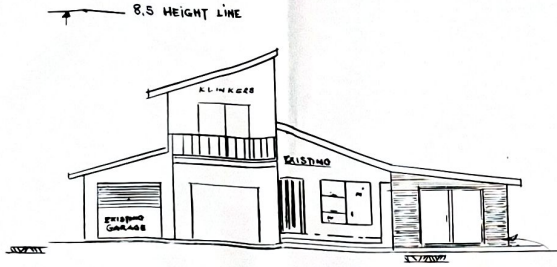
COVERAGE = 33,2%

COVERED GROUND AREA = 216,1 M²

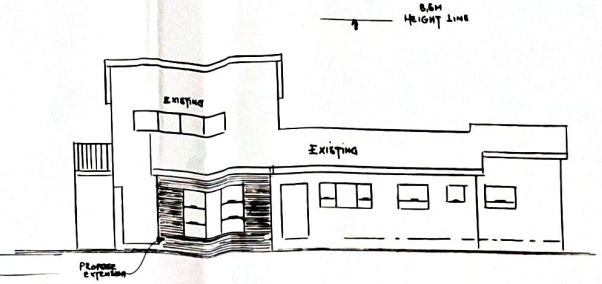
KOUGA MUNICIPALITY
JEFFREYS BAY ADMINISTRATIVE UNIT

VOORWAARDELIK GOEDGEKEUR	CONDITIONALLY APPROVED
BOUPLAN NR BUILDING PLAN No.	745-03-04
DATUM DATE	7-4-04
UITVOERENDE KOMITEE EXECUTIVE COMMITTEE	
VOORSITTER CHAIRMAN	
STADSBEPLANNER TOWN PLANNER	

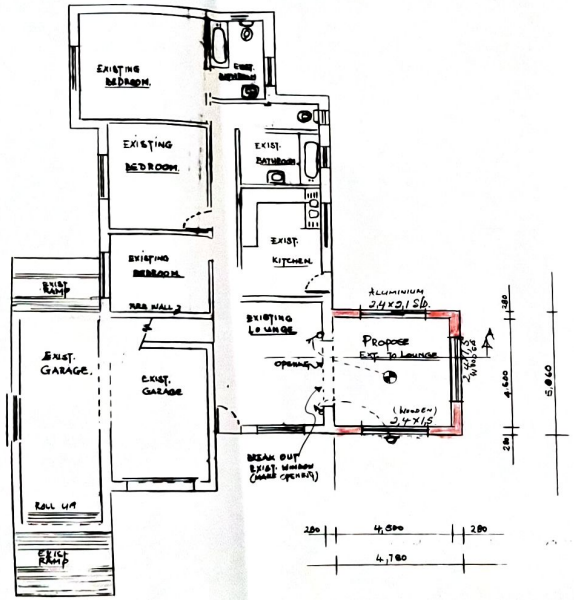
* UNLESS THE HOUSE IS BUILD BY THE LORD, THE BUILDER'S WORK IS IN VAIN ; PSALM 127 v 1



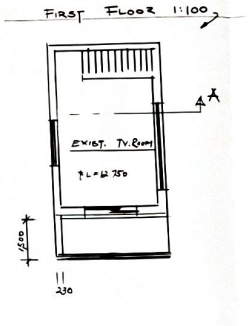
SOUTH ELEVATION. 1:100

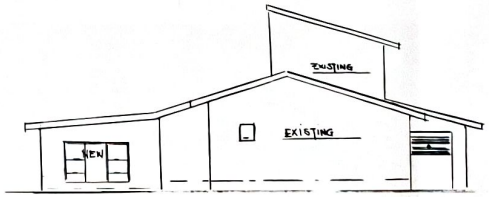


EAST ELEVATION 1:100



GROUND FLOOR PLAN 1:100





NORTH ELEVATION 1:100

KOUGA FIRE & EMERGENCY SERVICES
SIGNATURE
FIRE PREVENTION DIVISION
TEL: (042) 291-0250

ELECTRICAL LEGEND.

- WALL LIGHT
- CEILING LIGHT
- SWITCH POINT.

GENERAL NOTES:

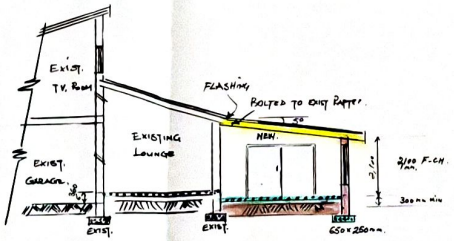
ROOF : ALUSINK ROOF SHEETS ON 76x50 PURLINS @ 720 c/c ON 152x50 RAFTERS @ 1,2m c/c. ROOF PITCH 5° (PAINT TO MATCH EXIST)

CEILING: 6,2 RHINO BOARD CEILING ON 38x38mm BATTENS @ 320 c/c. CORNICE FINISH (PAINTED) (ASBESTOS BARGEBOARD)

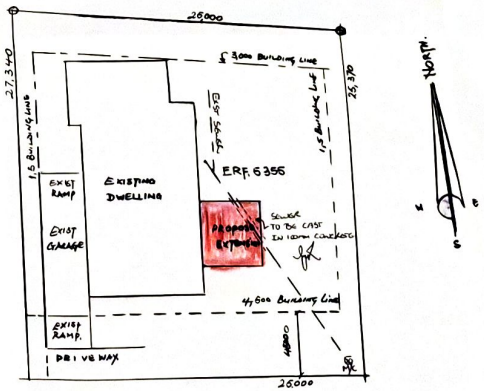
FLOORS : FLOOR TILE TO OWNER'S CHOICE ON 26MM SCREED ON 75MM CONCRETE ON 250 MICRON DPM. ON WELL COMPACTED FILLING.

WALLS: FRONT - KLINKER BRICK TO MATCH
SIDE & REAR : PLASTER & PAINTED.
INTERIOR : PLASTER & PAINTED.

* LEVELS & DIMENSIONS TO BE CHECKED & VERIFIED BY BUILDER BEFORE COMMENCING WORK.
* NBR & LOCAL AUTHORITY'S REGULATIONS MUST BE ADHERED TO.



SECTION A.A 1:100



DRESDEN STREET.

SITE PLAN 1:200 * NB. SITE ± LEVEL.

PROPOSED EXTENSION & ALTERATION
TO EXISTING DWELLING ON ERF 6356
JEFFREYSBAY FOR MR J. OOSTHUIZEN.

DRAWN BY: R PRINSLOO (OWNER'S SIGN: M Oosthuizen)

ADRESS : DUINE STREET - J/BAY.

TEL : 082 484 5185. DATE 29/03/04

AREA :-

EXISTING GROUND FLOOR = 192 M²

EXISTING FIRST FLOOR = 46 M²

PROPOSED EXTENSION & ALT. = 24,1 M²

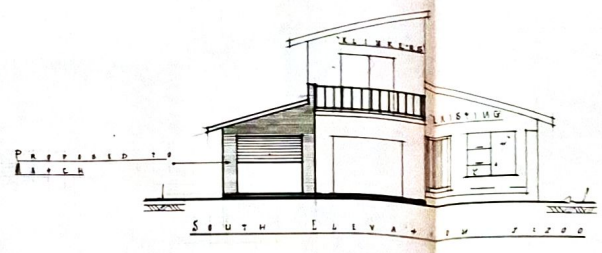
STAND AREA = 660 M² TOTAL = 262,1 M²

COVERAGE = 33,2%

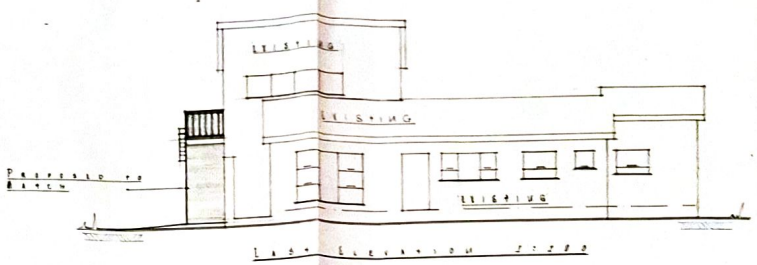
COVERED GROUND AREA = 216,1 M²

KOUGA MUNICIPALITY
JEFFREYS BAY ADMINISTRATIVE UNIT

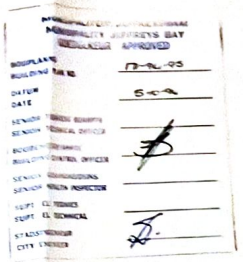
VOORWAARDELIK GOEDGEKEUR	CONDITIONALLY APPROVED
BOUPLAN NR. BUILDING PLAN No.	145-03-04
DATUM DATE	7-4-04
ESTETIESE KOMITEE AESTHETICS COMMITTEE	
BOUINSPEKTEUR BUILDING CONTROL OFFICER	
HOOF STADSBEPLANNER CHIEF TOWN PLANNER	



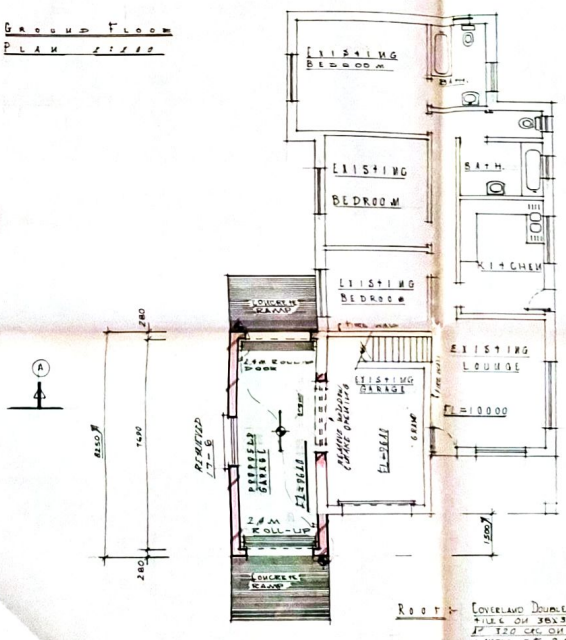
SOUTH ELEVATION 1:200

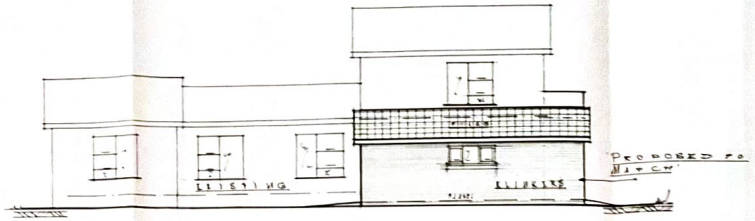


EAST ELEVATION 1:200

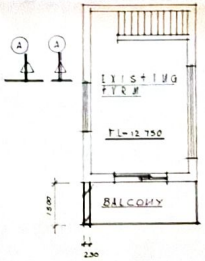


GROUND FLOOR PLAN 1:200

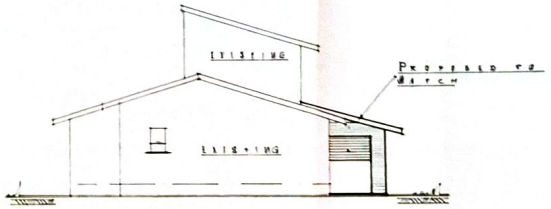




WEST ELEVATION 1:200



FIRST FLOOR PLAN 1:200

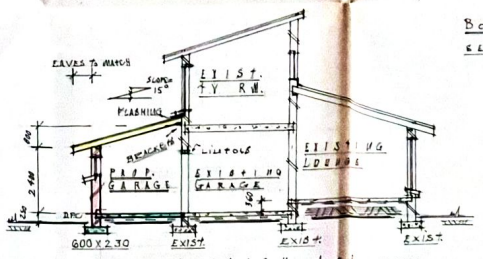


NORTH ELEVATION 1:200

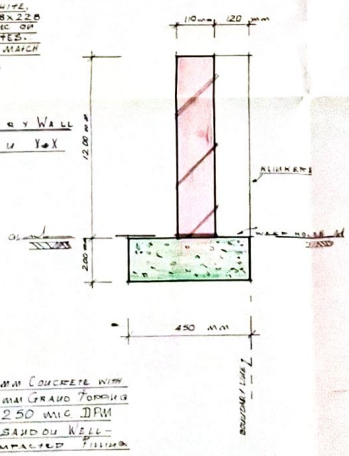
ELECTRICAL LEGEND

- FLOURESCENT LIGHTS
- WALL LIGHTS
- SWITCH POINTS

ROOF :- COVERLAND DOUBLE ROMAN ROOF TILES ON 38X38 RAF BATTENS @ 320 C/C ON AN IDEAL LAYER OF 250 MIC WHITE. TILE-UNDERLAY ON 38X228 SAP RAFTERS AT 750 C/C ON 38X114 SAP WALL-PLATES. FASCIAS AND GUTTER TO MATCH EXIST. NO CEILING.

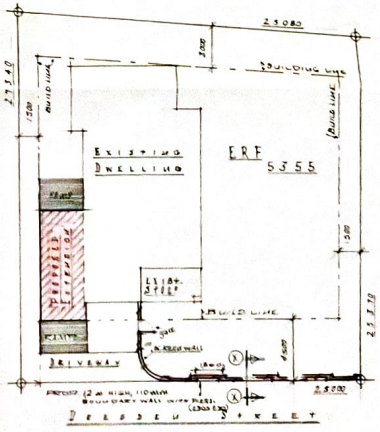


SECTION A-A 1:200



BOUNDARY WALL SECTION X-X 1:25

FLOOR :- 75 MM CONCRETE WITH 25 MM GRAVEL TOPPING ON 250 MIC DPM ON SAND ON WELL-COMPACTED FILLING



SITE PLAN 1:200

NB!!! GROUND 1st LEVEL

PROPOSED EXTENSION TO EXISTING DWELLING ON ERF 5355, TERRETA'S BAY FOR

MR N. OOSTHUIZEN

CONTRACTOR TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY PART OF WORK. COPYRIGHT ©

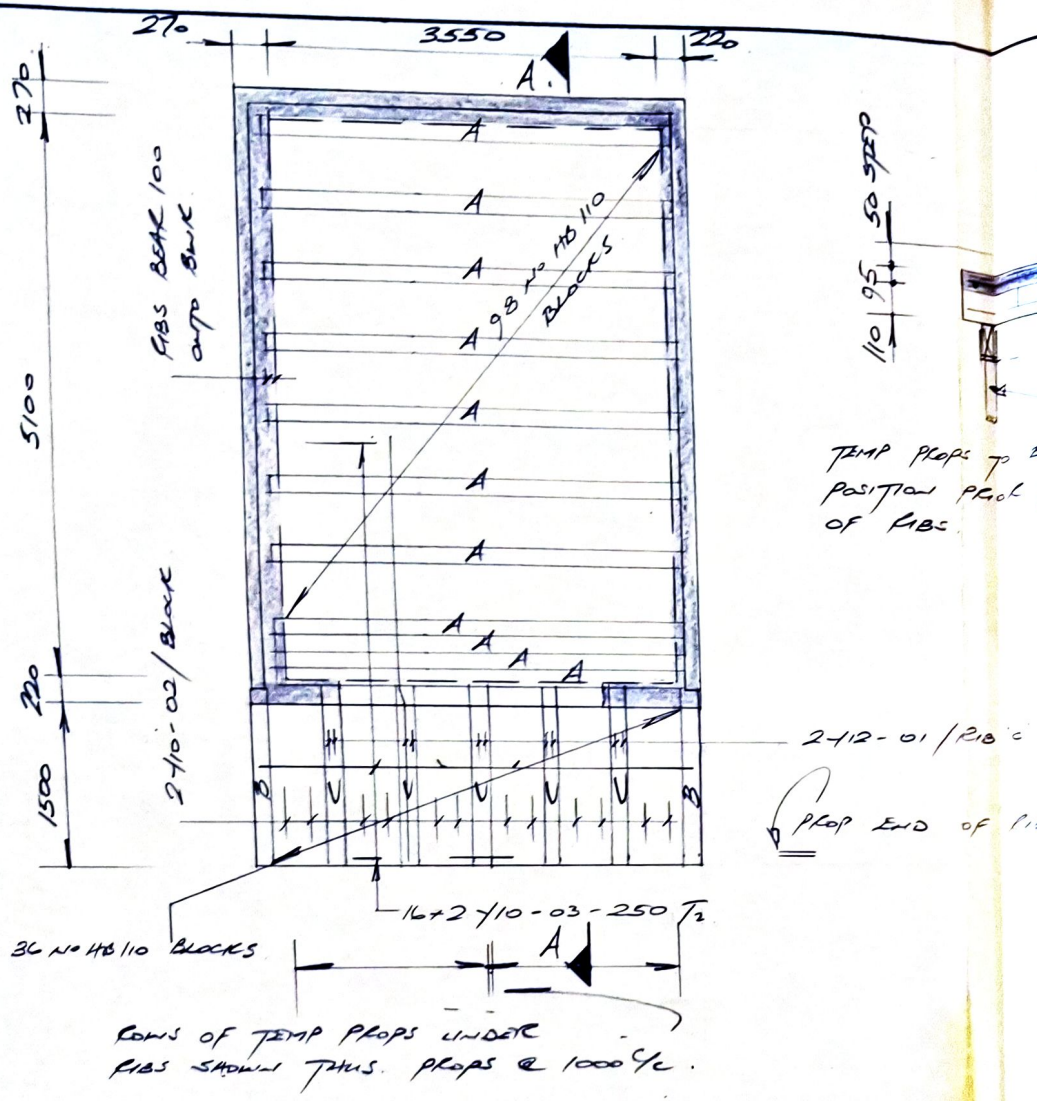
DATE: SEPTEMBER '94 | SCALES: 1:100 / 1:200

AREA :-

EXISTING GROUND FLOOR = 166 m²
EXISTING FIRST FLOOR = 46 m²
PROPOSED GROUND FLOOR EXTENSION = 26 m²
TOTAL = 238 m²

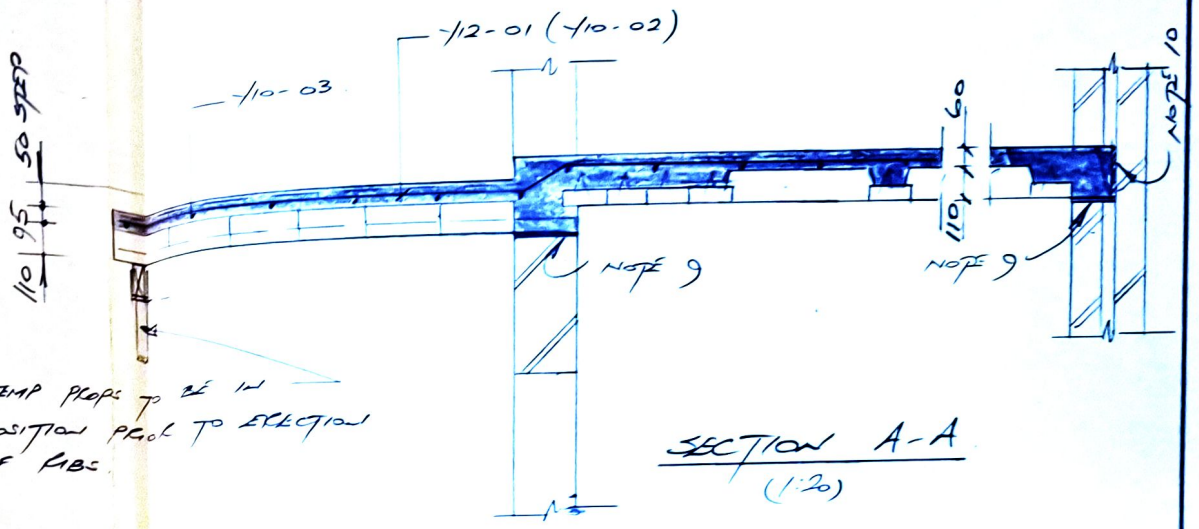
GROUND AREA = 650 m² ∴ GROUND COVERED AREA = 192 m²
COVERAGE = 29.5 %

DRAWN: K.E. ACKERMANN
PHONE: TELEPHONE DIRECTORY



ROWS OF TEMP PROPS UNDER RIBS SHOWN THUS. PROPS @ 1000 c/c.

PLAN SHOWING 170/205 THICK RIB & BLOCK SLAB. (1:50)



SECTION A-A (1:20)

Notes :

1. Dimensions to be verified on site prior to ribs being made.
2. Concrete strength to be 25 MPa at 28 days.
3. Design Loading :

   Finishes = 0,9 kN/m sq.
   Live load = 1,5 kN/m sq.

4. All concrete work to be done in accordance with SABS 1200 GB concrete (ordinary buildings)
5. Temporary props to remain in position for a minimum of 14 days after concrete has been cast.
6. The designer is responsible for the adequacy of this design only if SPACEVIEW ENT components are used and has inspected the slab immediately prior to concrete being cast.
7. Prop ribs to achieve an upward camber of span/500 at midspan.

Notes :

8. Wet ribs and blocks immediately prior to casting concrete.
9. 2 layers PVC DPC at all horizontal brickwork/concrete interfaces.
10. 10mm polystyrene at all vertical brickwork/concrete interfaces.
11. Electrical conduits to be positioned before mesh is laid.

PROJECT : RES OOSTHUISEN ERF 5355 DRESDEN ST J/BAY

DRAWING TITLE : RIB & BLOCK SLAB BY SPACEVIEW ENTERPRISES

LEN BEATTIE. LCBT Pr Tech (Eng) Reg. No. 8070087

DESIGNER :
L. C. BEATTIE.
4 HIGH STREET
MOUNT PLEASANT
PORT ELIZABETH
6070
TELEPHONE : 323226 (W) 324093 (H)
FACSIMILE : 323237

OWNER : MR OOSTHUISEN ERF 5355 DRESDEN ST J/BAY PHONE:

DRAWN : LWST

DATE : 93-08-11

CHECKED :

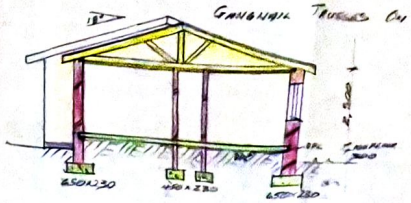
REVISION :

DRAWING No. : 258/93

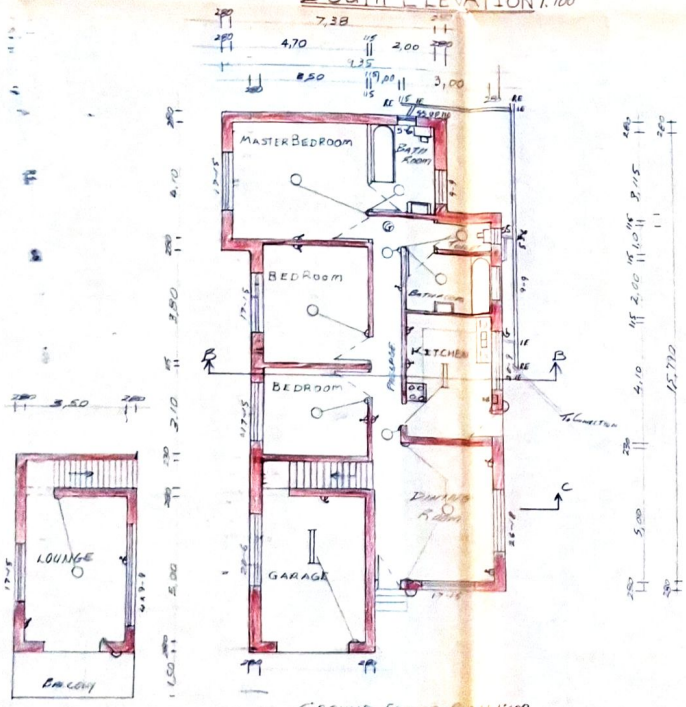
SOUTH ELEVATION 1:100

EAST ELEVATION 1:100

Roof:
DOUBLE ROMAN ROOF TILES ON 38x38
BATTENS AT 320cc ON TILE UNDERLAY
GANGWAIL TRUSSES ON 38x114 WALL PLATE

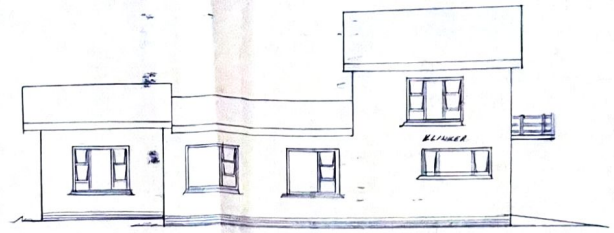


SECTION-B-B 1:100



GROUND FLOOR PLAN 1:100

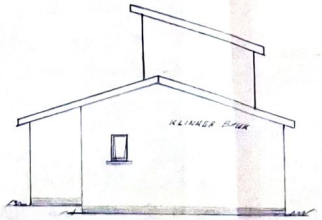
FIRST FLOOR PLAN 1:100



WEST ELEVATION 1:100

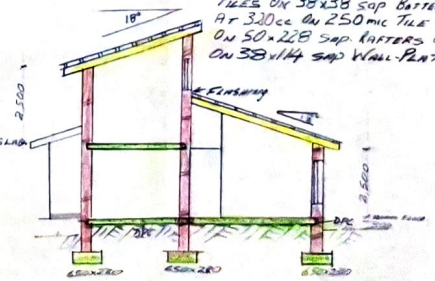
ELECTRICAL LEGEND

- FLOURESCENT LIGHT
- CEILING LIGHT
- WALL LIGHT
- SWITCH POINT
- WALL PLUG
- DB BOARD
- GEYSER



NORTH ELEVATION 1:100

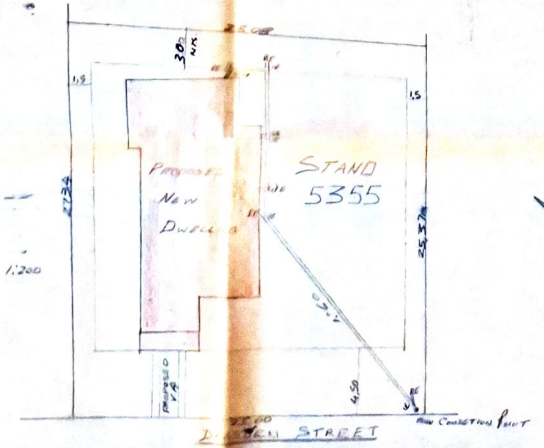
Roof: DOUBLE ROMAN ROOF
TILES ON 38x38 SAP BATTENS
AT 320cc ON 250mic TILE UNDERLAY
ON 50x228 SAP RAFTERS at 760cc
ON 38x114 SAP WALL PLATES



SECTION-C-C 1:100

MUNISIPALITEIT JEFFREYSBAAI
MUNISIPALITY JEFFREYS BAY
GOEDGEKEUR APPROVED

BOUPLANNO BUILDING PLAN NO.	072-93-94
DATUM DATE	18/8/93
SENIOR TEGNIESE BEAMPTE SENIOR TECHNICAL OFFICER	
BOUBEKEERBEAMPTE BUILDING CONTROL OFFICER	
SENIOR GESONDHEIDSINS. SENIOR HEALTH INSPECTOR	
SUPT. EL TEGNIES SUPT. EL TECHNICAL	
STADSINGENIEUR CITY ENGINEER	



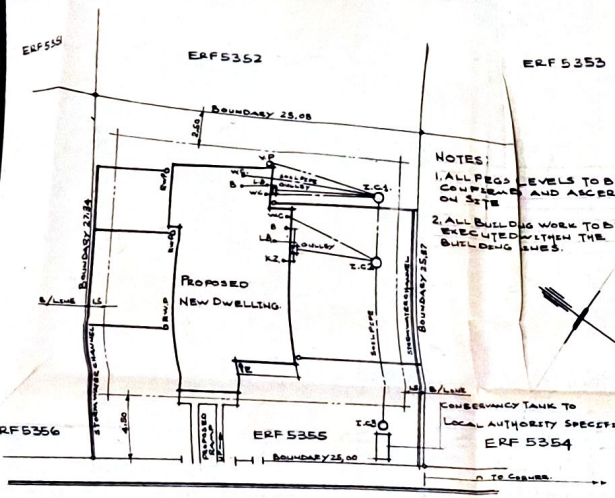
SITE PLAN 1:200

AREAS: DWELLING:
GROUND FLOOR = 165,64 m²
FIRST FLOOR = 46,35 m²
TOTAL 212,09 m²
STAND = 650 m²
COVERAGE = 25,4%

PROPOSED NEW DWELLING ON ERF 5355

FOR MR. M. OOSTHUIZEN

DRAWN:
AJ BOTHA 930170

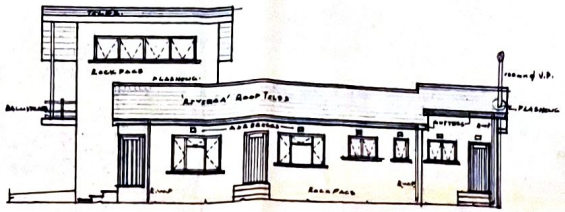


NOTES:
1. ALL PEGS LEVELS TO BE CONFIRMED AND ASCERTAINED ON SITE
2. ALL BUILDING WORK TO BE EXECUTED WITHIN THE SPECIFIED BUILDING LINES.

- SITE PLAN -

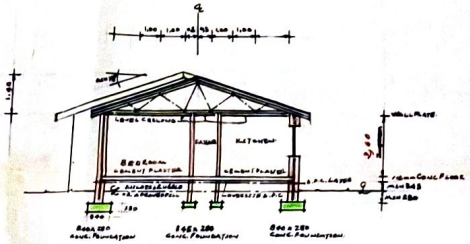
SCALE: 1:200

SOUTH ELEVATION

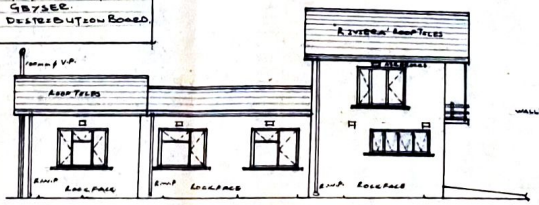


EAST ELEVATION

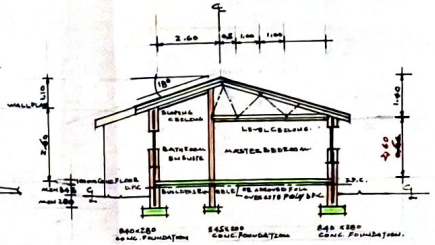
ELECTRICITY LEGEND	
SYMBOL	DESCRIPTION
	FILAMENT LAMP
	ONE/TWO WAY SWITCH
	15 AMP WALL SOCKET
	TUBE LIGHT
	WALL LAMP
	4 PT SOCKET
	GEYSER
	DISTRIBUTION BOARD

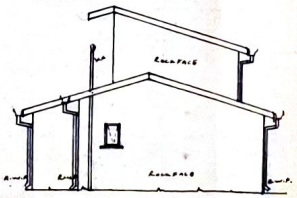


SECTION-B-B

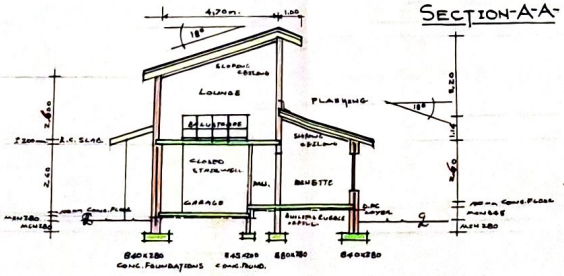


WEST ELEVATION

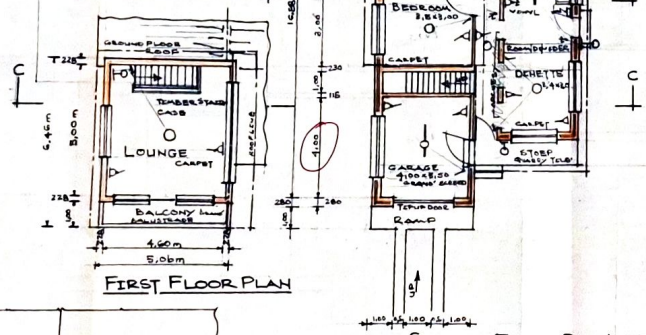




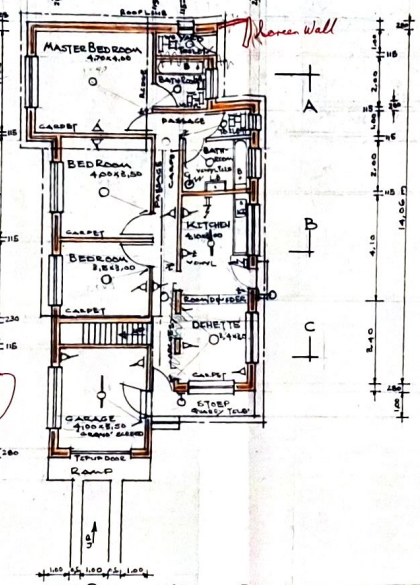
NORTH ELEVATION



SECTION-A-A-



FIRST FLOOR PLAN



GROUND FLOOR PLAN

- CARPENTER & JOINER.

ALL STRUCTURAL TIMBER TO BE S.A. PINE TREATED. P.A.R / ROUGH.

ROOF TRUSSES TO BE MANUFACTURED (FACTORY) 115 X 45 TIMBER AT 0,950 m ℄ ℄ MAXIMUM.

BATTENS 38 X 50 P.A.R. AT 320 mm ℄ NAILED ON 'UNDLE' YELLOW POLYTHENE UNDERLAY

GYPSUM PLASTERBOARD CEILING NAILED ON 19 X 38 BRANDERING.

38 X 50 P.A.R. SLOPING RAFTERS TO LEAN TO ROOFS.

ROOF COVERING TO BE S.A.B.S APPROVED CONCRETE TILES.

P.V.C. RAINWATER GOODS TO OWNERS CHOICE

100 mm ℄.

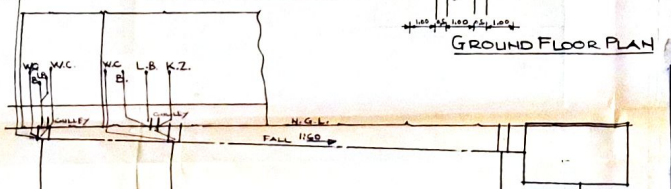
USE. PRECAST CONCRETE LINTOLS OVER ALL WINDOW OPENINGS EXCEEDING 1,20 m.

100mm ℄ AIR VENT

DRAINAGE SECTION

SCALES HOR: 1:100
VERT: 1:100

DATUM: 1000,0m



	I.C. 1		I.C. 2		I.C. 3		CONSERVANCY TANK TO LOCAL AUTH. BY-LAWS.
COVER LEVEL	100	00	100	00	100	075	
INVERT LEVEL	99	55	99	47	99	25	
DEPTH	0	45	0	53	0	83	
DISTANCE		5,00		13,00			
GRADIENT		1:60		1:60			

NOTES: PLUMBER & DRAINLAYER.

1. ALL WORK TO BE DONE BY A LICENSED PLUMBER.
2. SOIL PIPES 100mm ℄ P.V.C.
3. WASTE PIPES 30mm ℄ P.V.C.
4. VENT PIPE 100mm ℄ P.V.C WITH GRAVITY BALLOON COWL.
5. WHERE PIPES PASS UNDER FLOORS ETC. THEY MUST BE PROPERLY SUPPORTED ON BRICKBOND OR CONCRETE.
6. SLOPES OF LINE MUST BE MAINTAINED.
7. CONSERVANCY TANK TO BE BUILT TO L.A. REQUIREMENTS.

CONCRETE, MASON & PLASTERER

1. MIXES: FOUNDATIONS 2:4:6
   MORTAR 1:6
   PLASTER 1:4.
   DRESSED FLOORS 2:4:6
2. ALL STRUCTURAL CONCRETE 12. FLOOR SLAB TO ENGINEER'S DESIGN TO BE SUBMITTED.
3. WALLS: EXTERNAL 280 CAVITY
   INTERNAL NON L/B 115 (SINGLE)
   " L/B 230
4. EXTERNAL FINISH: ROUGHCAST
   INTERNAL " CEMENT PLASTER.
5. D.P.C. TO BE 250 MICRON 'GUNDLE' POLYTHENE SHEET.

SECTION 96(1) OF C-JEFFREYS BAY
MUNISIPALITEIT VAN JEFFREYSBAAI

Reeks Nr. 50/82 Serial No.
Kwit Nr. 571 – 575
Datum Ontvang 19/3/82
Date Received
Receipt No. R258-00

Plan goedgekeur onderworpe aan die voorwaardes soos aangedui op meegaande goedkeuringsvorms.
Plan approved subject to stipulations on the relevant approval forms accompanying this approval.

Gesondheidsinspekteur
Health Inspector

Stadsingenieur
Town Engineer

Datum 31/3/82

PROPOSED NEW HOUSE FOR L. BROCKOB
ON ERF 5355
AT DRESDEN STREET
JEFFREYSBAY

SCALES:
LAYOUT: 1:100
SETB: 1:200
DRAINAGE: 1:100

AMDMT	DATE	DESCRIPTION	SIGN

DRAWN: M.C. ARGUES P/BAG X2541 W/BOARD

DATE:

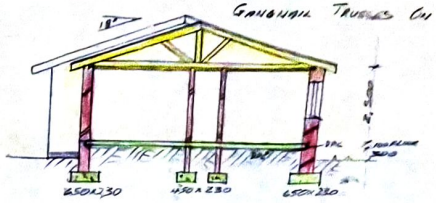
OWNER:

LOCAL AUTHORITY

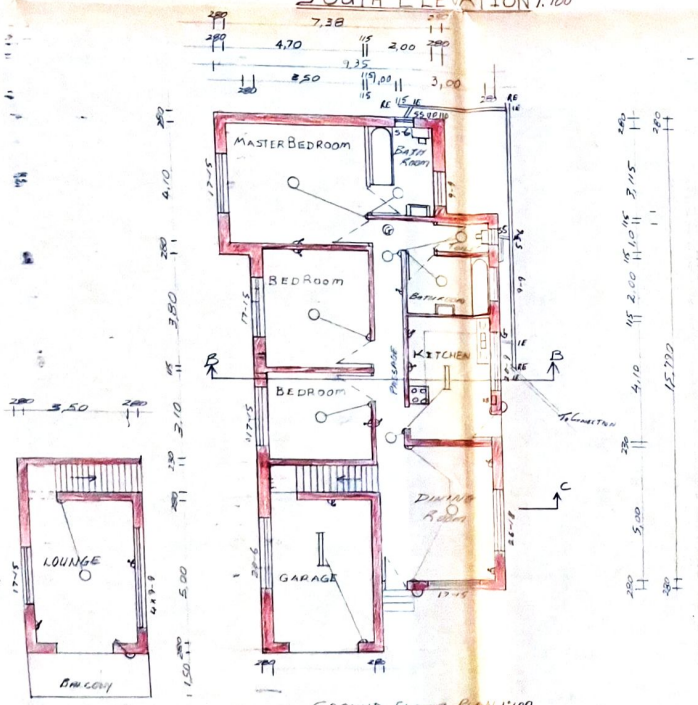
SOUTH ELEVATION 1:100

EAST ELEVATION 1:100

Roof:
DOUBLE ROMAN PLAT TILES ON 38x38
BATTENS AT 320cc ON TILE UNDERLAY
GANGNAIL TRUSSES ON 38x114 WALL PLATE

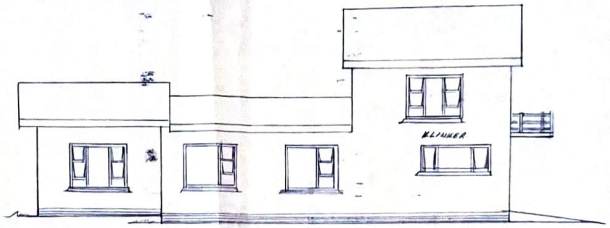


SECTION-B-B 1:100



GROUND FLOOR PLAN 1:100

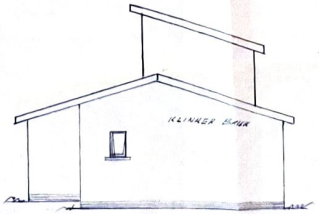
FIRST FLOOR PLAN 1:100



WEST ELEVATION 1:100

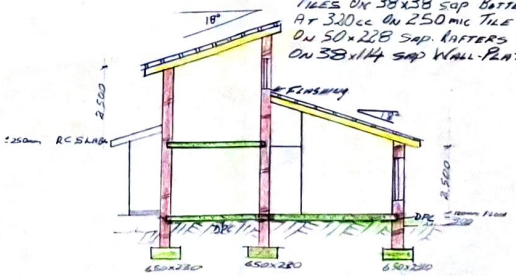
ELECTRICAL LEGEND

- FLOURESCENT LIGHT
- CEILING LIGHT
- WALL LIGHT
- SWITCH POINT
- WALL PLUG
- DB BOARD
- GEYSER



NORTH ELEVATION 1:100

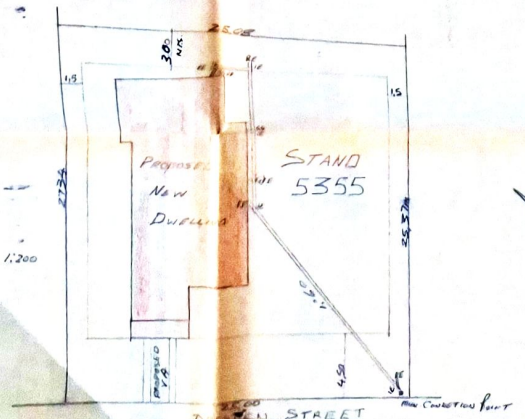
Roof: DOUBLE ROMAN ROOF
TILES ON 38x38 SAP BATTENS
AT 320cc ON 250 mic TILE UNDERLAY
ON 50x228 SAP. RAFTERS at 760cc
ON 38x114 SAP WALL-PLATES



SECTION-C-C 1:100

MUNISIPALITEIT JEFFREYSBAAI
MUNISIPALITY JEFFREYS BAY
GOEDGEKEUR APPROVED

BOUPLANNO. BUILDING PLAN NO.	072-93-94
DATUM DATE	18/8/93
SENIOR TEGNIESE BEAMPTE SENIOR TECHNICAL OFFICER	
SOUDEMEERBEAMPTE BUILDING CONTROL OFFICER	
SENIOR GESONDHEIDSINS. SENIOR HEALTH INSPECTOR	
SUPT. EL TEGNIES SUPT. EL TECHNICAL	
STADSINGENIEUR CITY ENGINEER	



SITE PLAN 1:200

AREA: DWELLING:
GROUND FLOOR = 165,64 m²
FIRST FLOOR = 46,45 m²
TOTAL 212,09 m²
STAND = 650 m²
COVERAGE = 25,48%

PROPOSED NEW DWELLING ON ERF 5355
FOR MR. M. OOSTHUIZEN

DRAWN:
AJ Botha 913270

JEFFREYS BAY MUNICIPALITY

BUILDING INSPECTIONS FORM Oct 89

ERF NO. : CS355

SERIAL No:

Name of owner : J. Oosthuizen

Street adress : 7 Dresdenstraat

Builder :

Plumber :

FOUNDATION INSPECTION at 12:30 on 3.11.94

Erf pegs shown ✓
Boundary lines shown ✓
Building lines shown ✓
Foundation sizes ✓
Foundation depths ✓
Storage permission —

Check rooms ✓
Check dimensions ✓
Sign board
Site toilet ✓
Rubbish bin ✓

Remarks:

Approved on 3.11.94 by GJC signed

DRAINAGE INSPECTION at _____ on _____

Check pipework
Check gradients
Check cover

Check stubb stacks
Check i.eyes
Check rodding eyes

Volume of tank : L .....* B..... *D.....=V.....

Remarks:

Approved on _____ by _____ signed _____

FINAL INSPECTION at _____ on _____

Built according to plan
Check toilet fittings
Check ceilings
Check windows
Check roof fixtures
External plumbing
Handrails & ballustrades

Check fire door
Cleanliness of stand
Water connection

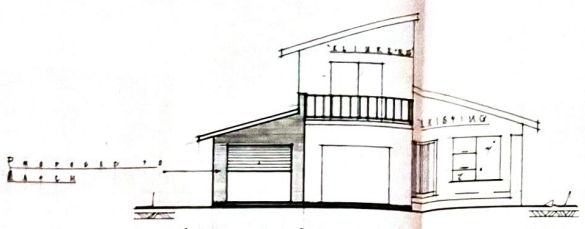
Remarks:

.....

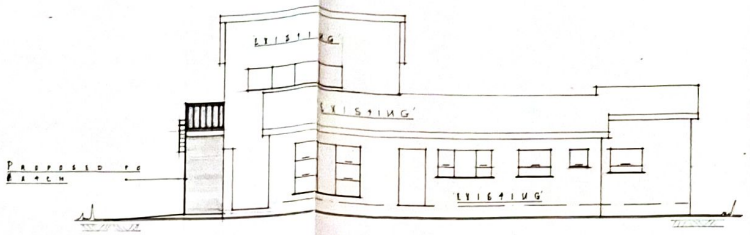
FINAL INSPECTION APPROVED ON _____ BY _____

OCCUPATION CERTIFICATE No. _____ ISSUED BY _____

ON _____ SIGNED _____



SOUTH ELEVATION 1:200

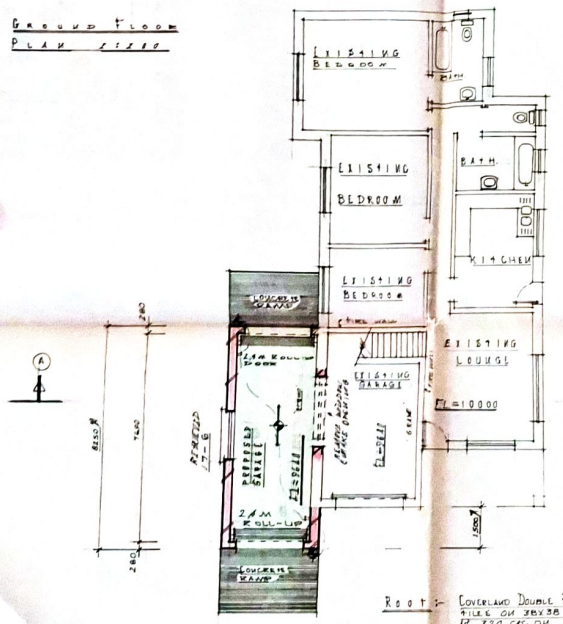


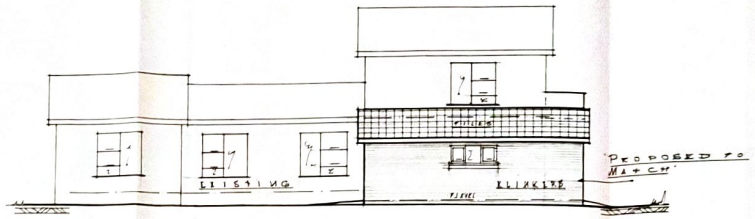
EAST ELEVATION 1:200

MUNISIPALITEIT JEFFREYS BAAI
MUNISIPALITY JEFFREYS BAY
GOEDGekeur APPROVED

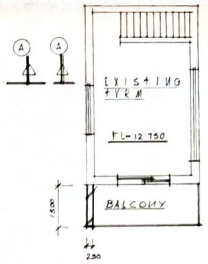
BOUPLANNE	17-06-93
BUILDING PLAN NO.	
DATUM	5-07-93
DATE	
SENIOR TEGNIESE BEAMPTE / SENIOR TECHNICAL OFFICER	
BOUBEHEERBEAMPTE / BUILDING CONTROL OFFICER	
SENIOR GESONDHEIDSINS. / SENIOR HEALTH INSPECTOR	
SUPT. EL TEGNIES / SUPT. EL TECHNICAL	
STADSINGENIEUR / CITY ENGINEER	

GROUND FLOOR PLAN 1:200

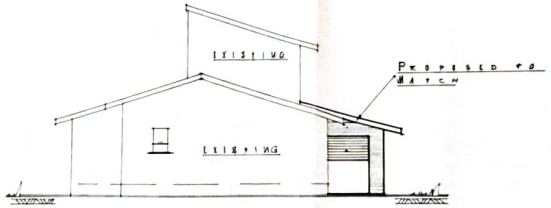




WEST ELEVATION 1:200



FIRST FLOOR PLAN 1:200

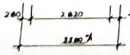


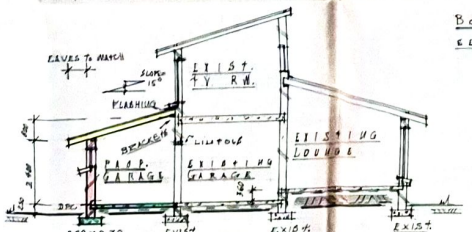
NORTH ELEVATION 1:200

ELECTRICAL LEGEND

- FLOURESCENT LIGHTS
- WALL LIGHTS
- SWITCH POINTS

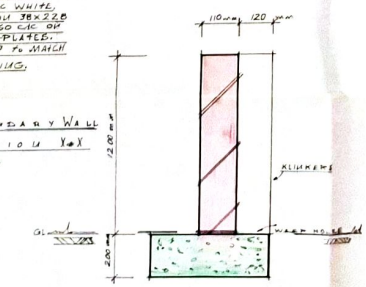
ROOF :- COVERLAND DOUBLE ROMAN ROOF TILES ON 38X38 BAD BATTENS AT 320 C/C ON AN DOUBLE LAYER OF 250MIC WHITE TILE-UNDERLAY ON 38X228 BAD RAFTERS AT 750 C/C OF 38X114 SAP WALL-PLATES. FASCIAS AND RWGS TO MATCH EXIST. NO CEILING.



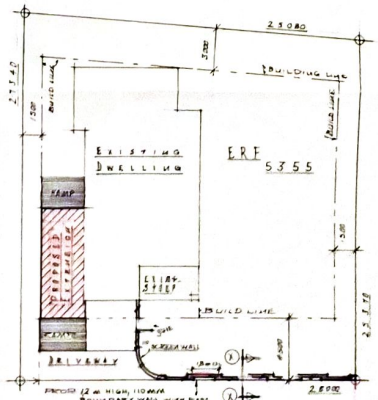


SECTION A-A 1:200

BOUNDARY WALL SECTION X-X



FLOOR :- 75MM CONCRETE WITH 25 MM GRAND TOPPING ON 250 MIC DPM ON SAND ON WELL-COMPACTED FILLING.



SITE PLAN 1:200

NB!!! STAND IS + LEVEL

PROPOSED EXTENSION TO EXISTING DWELLING ON ERF 5355, JEFFREYS BAY FOR

MR M. OOSTHUIZEN

CONTRACTOR TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY PART OF WORK. COPYRIGHT ©

DATE: SEPTEMBER '94

SCALES: 1:100; 1:200

AREA :-

EXISTING GROUND FLOOR	= 166 m²
EXISTING FIRST FLOOR	= 46 m²
PROPOSED GROUND FLOOR EXTENSION	= 26 m²
TOTAL	= 238 m²
STAND AREA = 650 m²	∴ GROUND COVERED AREA = 192 m²
COVERAGE = 29,5 %	

DRAWN: K. G. HENNEMANN

PHONE: [illegible]